

Part XI

Alpine Community Plan

San Diego County General Plan - 1990

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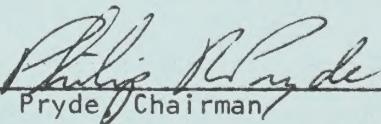
ADOPTED BY
BOARD OF SUPERVISORS
AUGUST 25, 1977
GPA 77-01
REVISED
DECEMBER 19, 1979
GPA 79-02

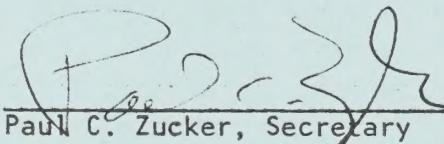
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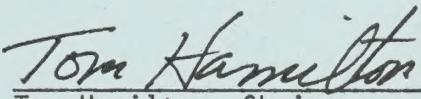
CERTIFICATE OF ADOPTION

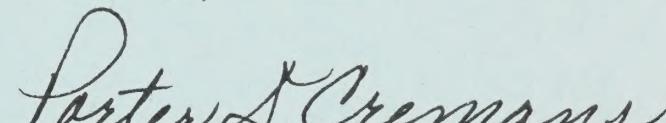
I hereby certify that this Plan, consisting of a map and this text, as revised by General Plan Amendment (GPA) 79-01, Subitem (9) and (GPA) 79-02, is the Alpine Community Plan and is a part of the Land Use Element, Section II, Part XI, of the San Diego County General Plan - 1990, and that it was approved by the San Diego County Planning Commission on the 22nd day of June, 1979 (GPA79-01) and the 9th day of November, 1979 (GPA79-02).


Philip R. Pryde, Chairman

Attest:  Paul C. Zucker, Secretary

I hereby certify that this Plan, consisting of a map and this text, as revised by General Plan Amendment (GPA) 79-01, Subitem (9) and (GPA) 79-02, is the Alpine Community Plan and is a part of the Land Use Element, Section II, Part XI, of the San Diego County General Plan - 1990, and that it was adopted by the San Diego County Board of Supervisors on the 24th day of October, 1979 (GPA79-01) and the 19th day of December, 1979 (GPA79-02).


Tom Hamilton, Chairman

Attest:  Porter D. Cremans
Clerk of the Board

Adopted August 25, 1977, GPA 77-01
First Amendment October 24, 1979, GPA 79-01
Second Amendment December 19, 1979, GPA 79-02

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CHAPTER 1

INTRODUCTION

The Alpine Community Plan implements the Regional Land Use Element for the Alpine area. Preparation of the plan is legally authorized under Section 65101 of the Government Code, State of California and Board of Supervisors' Policy I-I. Those policies and State guidelines were used in plan preparation. The plan represents a specific guide for land use, conservation, and circulation; a guide for use by service delivery specialists; and recommendations to facilitate coordination of plans of other public agencies and the private sector. The plan does not in itself establish new legislation or rezone property. However, it paves the way for appropriate actions to be taken through the regular legislative process. The plan reflects multi-disciplinary, specialized input of the Integrated Planning Office together with the community focus provided by the Alpine Citizens' Executive Committee.

LOCALE

The Alpine plan area covers 108 square miles situated in the foothills of the Cuyamaca Mountains. The area is rugged and diverse, ranging from densely vegetated lower drainageways of 1500' elevation, to semi-arid hilly terrain, to the forest covered peaks of Viejas and El Cajon Mountains with elevations of over 4100'. Interstate 8 bisects the community. Suburbanized Lakeside is the western neighbor, with the eastern limits of the area situated as a gateway to San Diego County's wilderness areas of mountains, forests, and deserts. Most of the population of 5,000 is clustered around the small town of Alpine. The Plan also encompasses the Viejas Indian Reservation and small settlements in Peutz Valley, Japatul Valley, Hidden Glen, Dunbar Lane, and the northern portion of Harbison Canyon. Existing development has a rural character typified by light agricultural activities practiced in conjunction with residential uses.

BACKGROUND

The roles of County staff, citizens, and the Board of Supervisors in the Community Planning Process are clearly identified in Board Policy I-I. An official mechanism for citizen input was established in the form of the Alpine Citizens' Executive Committee. In March, 1975, the Board of Supervisors authorized 25 individuals, elected through an official election conducted by the Registrar of Voters together with 17 members of local organizations to organize and contribute their ideas to the planning process. This group succeeded a previous planning group--the Alpine Planning Area Group--to complete the Alpine Community Plan. The group met frequently and waded through long hours of concentrated effort to agree upon a final plan product. The plan was adopted by the Alpine Citizens' Executive Committee on November 4, 1976.

EVOLUTION OF THE PLAN

Organization of the Alpine Citizens' Executive Committee and staff assistance for preparation of the Alpine Community Plan were authorized on March 11, 1975. Necessary staff support began in August, 1975.

GOALS AND OBJECTIVES

A series of community meetings were held in September to determine issues, goals, and needs perceived by residents of Alpine. Draft goals and objectives were prepared in October, 1975; refined by subcommittees and the Executive Committee; and presented to the community at a meeting held in November, 1975. The Goals and Objectives of the Alpine Community Plan were finalized and accepted by the Board of Supervisors on January 14, 1976.

BASIC DATA REPORT

A Basic Data Report was prepared simultaneously with draft goals. The factual data contained in this report were utilized to identify alternative planning solutions for potential issues and problems. This research was also used to prepare a series of planning factor maps that identified service and circulation capacities, water availability, environmental sensitivities, stable land use areas, agriculturally suitable land, and other factors that could act as constraints on future development. Citizens' desires, as expressed through goals and analysis of the data, suggested certain issues. Alternatives for dealing with these issues were determined by the Executive Committee.

CONCEPT PLANS

A series of concept plans for land use were prepared based on the planning factor maps, goals, and issues and policy alternatives. These were refined into a set of three alternative land use maps, that reflected varying intensities and distribution of land uses.

ALPINE COMMUNITY PLAN

A systematic approach was used to prepare a draft community plan that built upon the previous steps in the plan process. Following acceptance of a land use map, the data, goals and objectives, and issues and policy alternatives were utilized in preparation of the written section of the Land Use Element, as well as the Housing, Community Design, Recreation, Open Space, Conservation, Noise, Seismic Safety, Public Safety, Transportation, and Scenic Highways Elements. Drafts of these elements were reviewed and modified by the Alpine Citizens' Executive Committee. Pertinent analyses, data, and recommendations that were not appropriate to place in the above elements are included in appendices.

The text of the Alpine Community Plan is organized into sections that include: an Introduction and Background Summary; the Community Plan Elements; and the Appendices. The elements of the plan are organized in a format that leads from factual data in the Findings to community expressed Goals and Objectives, followed by the Policies and Action Programs that will implement the plan. Maps and illustrations are used in the Land Use, Community Design, Conservation, Recreation, Transportation, and Scenic Highways Elements to provide a clearer understanding of proposals.

ROLE OF THE CITIZENS' PLANNING GROUP

The future role of the Citizens' Planning Group is to review and make recommendations on proposed plan amendments and major public and private actions designed to implement the plan as further outlined in Board of Supervisors' Policy I-I.

CHAPTER 2 - ELEMENTS OF PLAN

LAND USE ELEMENT

INTRODUCTION

Government Code Section 65302(a) requires a land use element of all city and county general plans. The planning process for Alpine centered about land uses and their relationships, growth, development and its effect on the environment, and the ramifications of land uses on public services and facilities. This land use element consists of a land use map which delineates the size and location of various land use designations, a Zone Compatibility Matrix which describes use regulations in the County Zoning Ordinance that are compatible with the various land use designations, and Policies and Action Programs that describe standards and criteria for development.

The land use pattern for Alpine falls into a logical sequence. The most intensive uses, both business and residential, are located in the towncenter where the necessary public services and facilities can be provided and road accessibility and ease of circulation are greatest. Beyond this area, large lot residential uses are extended to the limits of the imported water service area with lot sizes determined by slope of the land and septic tank suitability. Uses of a rural nature were assigned to the remaining half of the plan area with lot sizes based on the ability of the land to support proposed uses.

RELATIONSHIP WITH REGIONAL LAND USE ELEMENT

The Alpine Community Plan implements the goals and policies of the Regional Land Use Element (Part II of the County General Plan). It also implements, in part, the Regional Growth Management Plan which was approved in concept by the Board of Supervisors on August 16, 1978. The Growth Management strategy implemented in the Regional Land Use Element and this plan attempts to guide new urban development into those areas of the County where urbanization will be least costly, conserve future options for development and help meet the housing and other needs of County residents.

The Regional Categories shown on the Regional Land Use Element map delineate the pattern of urban development to take place in this region through the year 1995. The Land Use Designations shown on the Alpine Community Plan will be used to implement the Regional Categories. The consistency between the Regional Categories and the Community Plan Land Use Designations is shown in the Compatibility Matrix. Twenty-five (25) Land Use Designations provide various residential, commercial, industrial, agricultural, and special uses.

In a similar manner, Use Regulations in the Zoning Ordinance will be used to implement the Land Use Designations. The consistency between the Land Use Designations and Use Regulations is also shown in the Compatibility Matrix. A complete listing of additional policies, procedures and guidelines necessary to implement this plan is contained in the Plan Implementation Manual.

LAND USE DESIGNATIONS AND USE REGULATIONS

NOTE: The descriptions contained in this portion of the Alpine Community Plan conform to the descriptions contained in Policy 2, pages II-9 through II-21 of the Regional Land Use Element.

The following Land Use Designations and Use Regulations shall guide development consistent with the Regional Categories of the Regional Land Use Element. The Regional Categories are delineated on the Regional Land Use Element Map. Use Regulations are part of the Zoning Ordinance. Specifically,

- The following Land Use Designations shall delineate locations for residential, commercial, and industrial uses to implement the policies of the Regional Categories.
- These Land Use Designations shall include the maximum density (and in certain cases, a minimum density) allowed in that designation.
- The Use Regulations consistent with each Land Use Designation shall be categorized as follows:

CONSISTENT USE REGULATION (CUR)

- These represent Use Regulations that are consistent with the specific Land Use Designation under consideration. Guidelines for their application are contained in the Plan Implementation Manual.

SPECIAL CIRCUMSTANCES (SC)

- These represent Use Regulations that are consistent with a particular Land Use Designation in existing (as of the date of adoption of this Element) locations, or under unique/unusual circumstances, or when additional density restrictions are required as a condition of approval. Detailed guidelines for the application of "Special Circumstances" are contained in the Plan Implementation Manual.

1. URBAN RESIDENTIAL DESIGNATIONS

The Urban Residential Designations promote residential uses as the principal and dominant use. Civic uses may be consistent with these designations if these uses tend to support the local population. Specific density ranges shall be a part of each designation; and, in certain instances, a variety of densities and building types is encouraged. Within those designations permitting a "density bonus option," as defined in the Inclusionary Housing Policy, an additional density figure is included. The Urban Residential Designations are consistent with all categories of the Regional Land Use Element except Estate and Rural Development Areas. Designation (10), Residential 40 du/gross acre, is not consistent with the Country Town Category of the Regional Land Use Element.

To prohibit the development of areas at low densities where the Plan delineates medium to high densities, a minimum density may be required to achieve plan conformance. Minimum residential densities may be required in areas deemed appropriate due to the adequacy of public facilities, site characteristics, or for social or economic reasons. These minimum densities shall be specified as part of the Community Plan implementation process or as a condition of approval of a discretionary project.

It is the intent of this plan to encourage the use of minimum densities when the Land Use Designations permit residential development of 10.9 du/gr.ac. or more. Minimum densities would, therefore, be encouraged in the implementation of Designations (7) through (10).

GOAL

Encourage a balance of land uses which will conserve natural and man-made resources and make Alpine a pleasant, safe, rural community that can continue to accommodate people of diverse lifestyles, occupations, and interests.

OBJECTIVE

Provide a land use pattern that accommodates a projected 1995 population of between 9,500 and 12,000 in roughly the same proportions of urban and non-urban development as now exist.

Policy 1.1 Maintain the balance of land use during the life of the community plan through monitoring the effect of project approvals.

Action Program 1.1.1 Agencies involved in discretionary decision-making on land use projects shall use the objectives and policies of the Alpine Community Plan in their criteria for decision-making.

OBJECTIVE

Direct higher density residential development to the existing urban services area; continue existing densities to the imported water service area; encourage low densities beyond those limits.

Policy 1.2 The urban limit line demarcates those areas slated for pre-1995 urbanization, as reflected on the Towncenter Land Use Map. The urban limit line is drawn on the basis of sewer, water and fire services availability.

Policy 1.3 Residential (7.3 du/gr.ac.), (14.5 du/gr.ac.), and (29.0 du/gr.ac.) land use designations shall not be granted discretionary approvals until schools, local streets, sewer, water, and fire services can be proven to meet the following criteria:

- Classroom space required for the development will be available. This determination should be based on analysis by the school district based on data provided through Action Program 1.1.1 of cumulative impact of development proposals and approved projects.
- Urban development in existing sewer served areas is favored over that in areas requiring major extension of sewer lines.
- The cumulative impact of growth in the urban portion of the area can be absorbed by law enforcement and other regional services provided directly to Alpine.
- Favorable consideration should be given to projects that are in keeping with the character and density of surrounding land uses.

Action Program 1.3.1 Graphic and statistical documentation should be kept by appropriate regulatory agencies of approved projects and building permits for all uses in the Alpine Plan area.

Policy 1.4 The Residential (2.0 du/gr.ac.) designation is applied to areas on an interim basis in expectation of post-1995 urbanization. Discretionary decisions on land use projects should incorporate the following criteria:

- Maximum densities in this designation may be attained if the criteria established in Policy 1.3 are met.
- Densities in areas not served by sewers are determined by County requirements on septic tank disposal. The septic tank analysis should consider cumulative impacts of eventual saturation of residential uses on septic tanks in surrounding non-urban areas and non-urban projects approved for development in surrounding urban areas.

DESIGNATION	MAXIMUM DENSITY
(1) Residential	-- 1 du/gr. ac. where the average slope does not exceed 15%.
	-- 1 du/2 gr. ac. where the average slope is greater than 15% and does not exceed 25%.
	-- 1 du/4 gr. ac. where the average slope is greater than 25%.
(2) Residential	1 du/gr. ac.
(3) Residential	2 du/gr. ac.
(4) Residential	2.9 du/gr. ac.
(5) Residential	4.3 du/gr. ac.
(6) Residential	7.3 du/gr. ac.
(7) Residential	10.9 du/gr. ac.
(8) Residential	14.5 du/gr. ac.
(9) Residential	29.0 du/gr. ac.
(10) Residential	40.0 du/gr. ac.

URBAN RESIDENTIAL DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(1) Residential 1 du/1, 2, 4 gr. ac.	R-S, R-D, R-R, R-RO S-80, S-88, S-90, S-94	R-M, R-V, R-U, R-C A-70, A-72 S-82, S-86, S-92
(2) Residential 1 du/gr. ac.	R-S, R-D, R-U, R-RO, R-R S-80, S-88, S-90, S-94	R-M, R-V, R-C A-70, A-72 S-82, S-86, S-92

DESIGNATION	Consistent	Special Circumstances
(3) Residential 2 du/gr. ac.	R-S, R-D, R-R, R-RO, R-U S-80, S-88, S-90, S-94	R-M, R-V, R-C A-70, A-72 S-82, S-86, S-92
(4) Residential 2.9 du/gr. ac.	R-S, R-D, R-M, R-V, R-U R-RO S-80, S-88, S-90, S-94	R-C A-70, A-72 S-82, S-86, S-92
(5) Residential 4.3 du/gr. ac.	R-S, R-D, R-M, R-V, R-U R-RO S-80, S-88, S-90, S-94	R-C A-70, A-72 S-82, S-86, S-92
(6) Residential 7.3 du/gr. ac.	R-S, R-D, R-M, R-V, R-U R-RO S-80, S-88, S-90, S-94	R-C A-70, A-72 S-82, S-86, S-92
(7) Residential 10.9 du/gr. ac.	R-U, R-S, R-D, R-M, R-V R-RO S-80, S-88, S-90, S-94	R-C A-70, A-72 S-82, S-86, S-92
(8) Residential 14.5 du/ gr. ac.	R-U, R-D, R-M, R-V, R-RO S-80, S-88, S-90, S-94	R-S, R-C A-70, A-72 S-82, S-86, S-92
(9) Residential 29 du/gr. ac.	R-U, R-D, R-M, R-V, R-RO S-80, S-88, S-90, S-94	R-S, R-C A-70, A-72 S-82, S-86, S-92
(10) Residential 40 du/ gr. ac.	R-U, R-D, R-M, R-V, R-RO S-80, S-88, S-90, S-94	R-S, R-C A-70, A-72 S-82, S-86, S-92

2. COMMERCIAL DESIGNATIONS

The Commercial Designations provide locations for exclusive commercial uses and areas for a mixture of commercial and residential uses. The four Commercial Designations are:

(1) Office Professional

This designation provides areas for administrative and professional services. Residential uses may be permitted under Special Circumstances (SC). This designation is consistent with all categories of the Regional Land Use Element except Estate and Rural Development Areas.

(12) Neighborhood Commercial

This designation provides for limited, small-scale commercial uses serving the daily needs of local residents. It is designed to serve only a limited market and uses should be compatible in design and scale with adjacent residential uses. Residential uses may be permitted under Special Circumstances.

This designation is consistent with all categories of the Regional Land Use Element.

(13) General Commercial

This designation provides for commercial areas where a wide range of retail activities and services is permitted. Residential uses may be permitted under Special Circumstances. This designation would be appropriate for community or regional shopping centers, central business districts, or small but highly diverse commercial development. It is intended that uses permitted within this designation be limited to commercial activities conducted within an enclosed building. This designation is consistent with all categories of the Regional Land Use Element except Estate and Rural Development Areas.

OBJECTIVE

Develop the present downtown commercial center into an aesthetically pleasing compact area properly sized to provide adequate shopping facilities and services for the residents of the Alpine Community.

Policy 2.1 Land designated for the General Commercial designation should meet the following criteria:

- It should be located on the major traffic artery, Alpine Blvd.
- The total area should be large enough, together with land devoted to community commercial uses in Specific Plan areas, to provide community retail and service facilities for the projected population.
- Individual sites should be large enough to accommodate retail floor space, off-street parking, and sufficient landscaping to protect the spacious rural appearance of the downtown area.
- All commercial activities should be sewered, have fire response times under three minutes, and have safe internal circulation as well as safe access onto traffic arteries.

Action Program 2.1.1 Direct the appropriate agency to study the amendment of the Zoning Ordinance to include requirements for adequate landscaping and site plan design before issuance of any building permit for a commercial land use.

Policy 2.2 Land in the General Commercial designation east of W. Victoria Drive (see map) is recommended for mixed residential and commercial usage. Proposed special use permits for residential uses should be favored under the following circumstances:

- The proposed use is in keeping with the rural character of the towncenter.
- The use will not have a detrimental impact on surrounding land uses.
- The density does not exceed 14.5 du/gr. ac. due in part to the parcel sizes available.

- The project provides for adequate landscaping and protection of mature tree stands.

ILLUSTRATION FOR POLICY 2.2



(14) Service Commercial

This designation provides for heavier commercial or light industrial uses with large acreage requirements. This designation would differ from the General Commercial Designation in that it emphasizes services to retail commercial zones by permitting wholesaling and warehousing activities. This designation is consistent with all categories of the Regional Land Use Element.

COMMERCIAL DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(11) Office-Professional	C-30, C-31, C-46 S-80, S-84, S-86, S-88 S-90, S-94	R-C S-82
(12) Neighborhood Commercial	C-32, C-30 S-80, S-86, S-88 S-90, S-94	R-C C-31 S-82
(13) General Commercial	C-36, C-30, C-32, C-34 C-42, C-44, C-46, S-80 S-84, S-86, S-88, S-90 S-94	C-31 S-82 R-C
(14) Service Commercial	C-38, C-30, C-32, C-34, C-36, C-37, C-40, C-42, C-44, C-46 S-80, S-84, S-86, S-88 S-90, S-94	C-31 S-82

3. INDUSTRIAL DESIGNATIONS

The Industrial Designations provide locations for manufacturing, industrial, wholesaling, and warehousing uses based on the potential nuisance characteristics or impacts of a use. The two Industrial Designations are:

(15) Limited Impact Industrial

This designation provides for manufacturing and industrial uses which exhibit few or low nuisance characteristics. All uses, with minor exceptions, are conducted entirely within enclosed buildings. This designation is consistent with all categories of the Regional Land Use Element.

OBJECTIVE

Encourage non-polluting light industry to locate in Alpine that will provide employment for community residents and contribute to the local tax base.

Policy 3.1 The Limited Industrial category is applied to an expanded area first in anticipation of additional demand for industry, second to accommodate rural type industrial uses such as automobile storage and wrecking or heavy equipment storage, and finally to provide sufficient area so that uses can operate without extension of sewers. The following criteria should be considered for projects in the Limited Industrial category.

- Any new private or publicly maintained access routes within industrial developments do not link with roads through residential developments.
- Proposed industrial uses have minimal visual and environmental impacts.

(16) General Impact Industrial

This designation provides for uses exhibiting moderate to severe nuisance characteristics. Typically, large sites are required with direct access to major roads, railroads, and other transportation modes. This designation is consistent with all categories of the Regional Land Use Element except Country Town.

INDUSTRIAL DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(15) Limited Impact	M-50, M-52, S-80, S-86, S-88, S-90, S-94	C-44 S-82
(16) General Impact	C-38, M-50, M-52, M-58, M-54 S-80, S-86, S-88, S-90 S-94	C-44 S-82

4. NON-URBAN RESIDENTIAL DESIGNATIONS

These designations provide for areas not intended to develop at urban densities. Urban improvement standards will not apply and urban level services will not be provided. Commercial uses may be permitted to serve only the needs of the residents. There are two Non-Urban Residential Designations:

(17) Estate Residential

This designation provides for minor agricultural and low-density residential uses. Parcel sizes of 2 or 4 acres or larger are required depending on the following slope criteria:

Slope: -- 1 dwelling unit per 2 acres (gross) where the average slope does not exceed 25%.

-- 1 dwelling unit per 4 acres (gross) where the average slope is greater than 25%.

Clustering when located within the Estate Development Area Category of the Regional Land Use Element is permitted within this designation. This designation is consistent with the Estate Development Area, Country Town, Environmentally Constrained Area, and Special Study Area Categories of the Regional Land Use Element.

Policy 4.1 The Estate Residential designation is consistent in those areas in which suburban levels of services, excepting sewers and accessibility are available, are not needed for urban development before 1995, are unsuitable for large-scale agricultural uses and are suited by topography, soils, and location for low density residential development.

Policy 4.2 Clustering of development is compatible under the following circumstances:

- a. The minimum parcel size of all parcels is at least one acre.
- b. Land not included within the clustered lots is reserved for permanent open space, and an open space easement is granted to the County over such land.
- c. On-site sewage disposal systems can be approved by the Health Department for immediate and long-term usage.
- d. The proposed development will have a no more serious effect on the natural environment than would an equivalent non-clustered development as would otherwise be permitted in the subject land use category.
- e. The proposed clustered development, including the open space areas, does not exceed the overall density permitted without clustering in the existing land use designations.
- f. An adequate long-term supply of groundwater resources is demonstrated available.

Policy 4.3 The C-36, C-40 and C-44 Use Regulations are not intended for use within the community of Alpine since ample commercial areas are designated within the Towncenter. An application for a zone reclassification should be reviewed with this in mind.

Policy 4.4 It is intended that agricultural zones be used to implement the Estate Residential Designation to ensure continuation of avocational agricultural uses.

(18) Multiple Rural Use

This designation is applied in areas with one or more of the following characteristics: not highly suited for intensive agriculture; rugged terrain; watershed; desert lands; lands susceptible to fires and erosion; lands which rely on groundwater for water supply; and other environmentally constrained areas. Parcel sizes of 4, 8, or 20 acres are required, depending upon slope as follows, and the criteria established in the County Groundwater Policy which may require up to 40-acre parcels:

Slope: -- 1 dwelling unit per 4 acres (gross) where the average slope does not exceed 25%.

-- 1 dwelling unit per 8 acres (gross) where the average slope is greater than 25% and does not exceed 50%.

-- 1 dwelling unit per 20 acres (gross) where the average slope is greater than 50%.

Policy 4.5 Multiple Rural Use designation is applied to those areas in which urban services are unavailable and have soil type, topography, and sufficient groundwater to support the proposed uses during the life of the plan.

Other than a single-family home on an existing lot, it is not intended that any development occur unless the proposed development has been carefully examined to assure that there will be no significant adverse environmental impacts, erosion and fire problems will be minimal, and no urban levels of service will be required.

Permitted parcel sizes are as specified above, provided that Health Department requirements for adequate immediate and long-term water supply and septic tank and leach fields can be met, provided that the criteria in the County Groundwater Policy can be met (which may require minimum parcel sizes of 40 acres), provided that when environmental analysis indicates that significant impacts could occur then larger parcel sizes will be required, and further provided that when zoning on the land requires a larger parcel size such larger parcel size shall prevail.

Clustering when located within the Estate Development Area category of the Regional Land Use Element is permitted within this designation.

This designation is consistent with the Estate and Rural Development Area, Country Town, Environmentally Constrained Area, and Special Study Area Categories of the Regional Land Use Element.

NON-URBAN RESIDENTIAL DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(17) Estate Residential	A-70, A-72, R-R S-80, S-88, S-90, S-92, S-94	R-RO, R-C, C-36 C-40, C-44, S-82, S-86
(18) Multiple Rural Use	R-R A-70, A-72 S-80, S-88, S-90, S-92, S-94	R-RO, R-C, C-36 C-40, C-44, M-50, M-52 S-82, S-86

5. AGRICULTURAL DESIGNATIONS

These designations promote agricultural use as the principal and dominant use. Uses that are supportive of agriculture or compatible with agricultural uses are also permitted. Lot sizes and overall population density will vary based on the suitability of the individual parcels for various crops or agricultural products. No uses should be permitted that would have a serious adverse effect on agricultural production including food and fibre production, horticulture, floriculture or animal husbandry. Agricultural land uses should be encouraged where they are economically feasible, do not present nuisances or health hazards to surrounding residential uses, and may fulfill open space needs.

Policy 5.1 Preservation and further development of agricultural uses should be promoted throughout the planning area.

(19) Intensive Agriculture

This designation promotes a variety of agricultural uses including minor commercial, industrial and public facility uses appropriate to agricultural operations or supportive of the agricultural population.

This designation permits 2, 4, and 8 acre parcels under the following circumstances:

One dwelling unit per 2 acres (gross) when the following finding is made:

- at least 80% of the land does not exceed 25% slope.
- the land is planted, and has been planted, for at least the previous one-year period in one or more of the following commercial crops as defined by the U.S. Department of Agriculture Soil Survey San Diego Area (1973) - avocados, flowers, tomatoes, and specialty crops.
- a continuing supply of irrigation water is available to the land.

- the land has access to a publicly maintained road without the necessity of a significant amount of grading.
- two-acre parcels on the land will not have a significant, adverse environmental impact which cannot be mitigated.

One dwelling unit per 4 acres (gross) where the average slope of the land does not exceed 25% and the above finding cannot be made.

One dwelling unit per 8 acres (gross) where the average slope of the land is greater than 25%.

In connection with commercial, industrial, public facility, public utility, electronic installations, and other specialized uses, a smaller parcel size may be permitted, provided on-site sewage disposal, zoning, and other site development requirements can be met.

This designation is consistent with all categories of the Regional Land Use Element.

Policy 5.2 Heavy agricultural uses that entail noises, odors, or sanitary hazards to nearby neighbors should be confined to locations in the Multiple Rural Use, National Forest or Agricultural Preserves designations. Those uses should be distant from population concentrations in the residential land use designations.

Policy 5.3 The appropriate regulatory agency should approve the formation of agricultural preserves in the Estate Residential designation under the following circumstances:

- uses are restricted to light agricultural ones that present neither nuisance factors nor health hazards.
- uses will provide open space buffers between developments.

(20) Agricultural Preserves

This designation permits the following:

For lands under contract, permitted uses and parcel sizes shall be as specified by the contract.

For lands within the preserve boundaries but not under contract uses and parcel sizes shall be determined by the Use Regulation. This designation is consistent with all categories of the Regional Land Use Element.

Policy 5.4 The designation of areas to the Agricultural Preserve category should reflect current land in Agricultural Preserves and land that will be placed in Agricultural Preserves in the future.

- The formation of Agricultural Preserves is encouraged in areas with active agricultural operations and in locations that will be optimal for future production of food and fibers.

AGRICULTURAL DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(19) Intensive Agriculture	A-70, A-72 S-80, S-88, S-90, S-94	R-C S-82, S-86
(20) Agricultural Preserve	A-70, A-72 S-80, S-88, S-90, S-94	S-82, S-86

6. SPECIAL PURPOSE DESIGNATIONS

(21) Specific Planning Area

This designation is used where a specific plan has been adopted or must be adopted prior to development. Land within this designation typically has environmental constraints or unique land use concerns which require special land use and/or design controls. The overall density permitted in a Specific Planning Area shall be designated on the Community or Sub-regional Plan Map. This designation may be consistent with all categories of the Regional Land Use Element.

(22) Public/Semi-Public Lands

This designation indicates lands generally owned by public agencies. This designation includes military bases; Indian reservations; cemetaries; institutions; public parks including regional parks; County airports; and other public and semi-public ownerships. Any proposal for private development within this designation will be reviewed by the appropriate agency to assure that there will be minimum adverse effect on that agency's property or plans for that property.

For areas in private ownership, lot sizes shall be determined by the following criteria and standards:

- 1 dwelling unit per 4 acres (gross) where the average slope does not exceed 25% and each parcel has frontage on a publicly maintained road.
- 1 dwelling unit per 8 acres (gross) where the average slope is greater than 25% and does not exceed 50%.
- 1 dwelling unit per 20 acres (gross) where the average slope is greater than 50%.

This designation is consistent with all categories of the Regional Land Use Element.

(23) National Forest and State Parks

This designation indicates the planned boundaries and major land holdings of the Cleveland National Forest, Cuyamaca Rancho State Park, and Anza-Borrego State Park. It is the intent of this designation that the appropriate governmental agency will be notified prior to the approval of any proposal by a property-owner to use or develop any land within this land

use designation. Under California Code Section 884, a reasonable period of time will be given for the appropriate public agency to respond to such notice.

For areas in private ownership, lot sizes shall be determined by the following criteria and standards:

- 1 dwelling unit per 4 acres (gross) where the average slope does not exceed 25% and each parcel has frontage on a publicly maintained road or a road which connects to a public road; has a 40-foot minimum right-of-way and meets large-lot subdivision standards for improvements and geometrics.
- 1 dwelling unit per 8 acres (gross) where the average slope is greater than 25% and does not exceed 50%.
- 1 dwelling unit per 20 acres (gross) where the average slope is greater than 50%.

This designation is consistent with all categories of the Regional Land Use Element.

(24) Impact Sensitive

This designation is applied to areas considered unsuitable for urban development for reasons of public safety or environmental sensitivity. Large-lot residential parcels, agricultural pursuits, limited recreational uses, mineral extraction, or greenbelts connecting permanent open space areas may be compatible with this designation. This designation includes:

- environmentally sensitive characteristics such as floodplains, waterbodies, lagoons, marshes, wetlands, steep slopes, vegetation and wildlife habitat, heavy timber, mineral extraction, watershed and desert.
- safety impact considerations such as floodways, faults and landslide potential.

Parcel sizes of 4, 8, 20 and 40 acres or larger are required depending on the following criteria:

Slope	Not exceed 25% Not exceed 50%	Greater than 25% Not exceed 50%	Greater than 50%
Environmentally Sensitive	4 acres	8 acres	20 acres
Safety Impact	8 acres	20 acres	40 acres

This designation is consistent with all categories of the Regional Land Use Element.

(25) Extractive

This designation is applied only to areas containing economically or potentially economically extractable mineral resources. The designation promotes extraction as the principal and dominant use. Uses other

than extraction and processing of mineral resources are allowed only when they will not interfere with present or future extraction. Uses such as processing, agriculture and open space which are supportive of, or compatible with, mining are also allowed. Interim uses which are not compatible, but which will be removed, may be allowed.

Within this designation parcels may not be subdivided to lots smaller than 20 gross acres. However, this limitation:

1. Does not apply to portions of parcels outside of the Extractive designation.
2. Does not preclude extraction operations on existing parcels smaller than 20 gross acres.

This designation is consistent with all categories of the Regional Land Use Element.

The Extractive land use designation is an overlay designation. It is intended to be temporary in that the County will initiate a General Plan amendment to remove the extractive designation once extraction and rehabilitation is complete. It is intended that the land use would, through such General Plan Amendment, be re-designated to the underlying designation. Such General Plan Amendment and re-designation may be adopted for portions of individual properties in order to accommodate phased rehabilitation and new uses.

The underlying land use will continue to be shown on General Plan maps but will have no regulatory effect while the extractive designation exists.

SPECIAL PURPOSE DESIGNATIONS AND USE REGULATIONS

U S E R E G U L A T I O N S

DESIGNATION	Consistent	Special Circumstances
(21) Specific Planning Area	Consistent with all Use Regulations	---
(22) Public/Semi-Public Lands	Consistent with all Use Regulations	---
(23) National Forest/ State Parks	R-R A-70 S-80, S-88, S-90, S-92, S-94	R-C, C-44 A-72 S-82, S-86
(24) Impact Sensitive	R-R A-70 S-80, S-88, S-90, S-92, S-94	A-72 S-82, S-86
(25) Extractive	A-70, A-72 S-80, S-82, S-90, S-92 S-94	C-37, C-38, C-40 C-42, C-44, C-46 M-50, M-52, M-54, M-58, S-86

7. SPECIAL AREA OVERLAYS

Where some unique physical, legal or resource situation exists, a Special Area Overlay shall be used on the appropriate land use map. This overlay designation shall: (1) indicate that the underlying designation is modified in some limiting way as to permitted use and/or to permitted density; (2) define conditions in addition to those normally used in order to attain the underlying use and density.

These overlays are applied to lands which have some unique characteristics which might indicate an implementing Use Regulation other than the primary Use Regulation is appropriate. These overlays are:

SCENIC (S)

This overlay applies to areas of high scenic value both to assure exclusion of incompatible uses and structures and to preserve and enhance the scenic value. This will be implemented primarily through the Scenic Area Regulations of the Zoning Ordinance (Section 5200).

RESOURCE CONSERVATION AREAS (RCA)

This overlay identifies lands requiring special attention in order to conserve resources in a manner best satisfying public and private objectives. The appropriate implementation actions will vary depending upon the conservation objectives of each resource but may include: public acquisition, establishment of open space easements, application of special land use controls such as cluster zoning, large-lot zoning, scenic or natural resource preservation overlay zones, or by incorporating special design considerations into subdivision maps or special use permits. Resource Conservation Areas shall include, but are not limited to, groundwater problem areas, coastal wetlands, native wildlife habitats, construction quality sand areas, littoral sand areas, astronomical dark sky areas, unique geologic formations, and significant archaeological and historical sites.

Within Resource Conservation Areas, County departments and other public agencies shall give careful consideration and special environmental analysis to all projects which they intend to carry out, propose or approve, and shall select those conservation actions most appropriate to the project and consistent with the intent of this overlay designation.

DISTRICT PRESERVATION (DP)

The purpose of this overlay is to preserve the historic, cultural, and architectural resource values of designated districts by encouraging compatible uses and architectural design. This will be implemented primarily through the District Preservation Area Regulations of the Zoning Ordinance (Section 5700).

COMPATIBILITY MATRIX[®]

DEGREE OF COMPATIBILITY:

- CONSISTENT WITH REGIONAL CATEGORY
- * CONSISTENT USE REGULATION
- SPECIAL CIRCUMSTANCES

NOTES:

1. This Land Use Element text describes in detail each regional category and land use designation. Use regulations are explained in the County Zoning Ordinance. Consistency with the Land Use Element shall be determined by reviewing both the Matrix and the Goals and Policies of the Land Use Element.
2. See Regional Land Use Element Map.
3. See the Community and Subregional Plan Maps. The densities specified on the Matrix are maximum permitted densities.
4. See the County Zoning Ordinance
5. Refer to Policy 2.1 of the Land Use Element text for the application of this designation.

Twenty percent (20%) density bonuses are available in this designation for those projects qualifying under the Inclusionary Housing Policy. Refer to Policy 2.1 of the Land Use Element text for maximum permitted density.

7. The density permitted by the Use Regulation shall not exceed the maximum density specified by the Land Use Designation.
8. Existing (as of January 3, 1979) fully subdivided and fully developed uses may be classified to a use regulation consistent with that use (Policy 3.5 of the Land Use Element).
9. Special Purpose Overlays may be applied over any of the 24 Land Use Designations. These overlays shall serve to modify and/or further regulate the use of the land.

then restrict the underlying land use designation (Policy 2.7 of the Land Use Element).

10 The S 87 use regulation is not consistent with any of the Land Use Designations. It is intended to provide limited controls on the use of property pending specific studies to enable reclassification of said area in conformance with the adopted Community or Sub regional Plan Maps

11 To determine consistency in those Community and Subregional Plan Areas where public hearings have not been held to achieve consistency with the Regional Land Use Element, the Land Use Designations on the Community and Subregional Plan Maps shall take precedence over the Regional Categories (Policy 3.2 of the Land Use Element).

Land Use Element)

12 Existing Private Development Plans, Specific Plans and Applications to expand the boundaries of some may conflict with the categories of the Regional Land Use Element. To determine consistency in these cases, the findings as stated in Policy 3.4 of the Land Use Element must be made by either the Planning Commission or Board

Element must be made by either the Planning Commission or Board of Supervisors prior to project level approval

13. Within County Towns where commercial uses are not specifically designated on the Community or Subregional Plan Maps, commercial uses/use regulations may be consistent with this designation if these uses primarily serve the local population. This does not apply to those lands in County Towns having

nated on the plan map. If these uses/use regulations primarily serve the need of the automobile associated traveler, they shall be adjacent to freeway interchanges or in areas with convenient access to freeways or highways. If these uses/use regulations primarily serve the need of the local population, they shall be proposed at a scale and intensity consistent with the surrounding area.

14 Until public hearings are held to determine appropriateness of areas designated #12 and #13 based on the new (as of January 3, 1979) definitions of these designations, this regulation is deemed consistent wherever already applied (as of January 3, 1979)

15. Clustering when located within the Estate Development area category of the Land Use Element (Policy 1.3, pg 117) is permitted

within this designation.

16. The Extractive land use designation is an extractive designation which takes precedence over underlying designations. Upon completion of mining and rehabilitation, the underlying designation auto-

HOUSING ELEMENT

INTRODUCTION

Government Code Section 65302(c) requires a Housing Element as part of all city and county general plans. There is an adopted San Diego County Housing Element; and, since housing is an issue of regional scope, the Housing Element of the Alpine Community Plan merely refines and provides specialized input pertinent to the Alpine area for that County element. The purpose of this element is to identify long-term, specialized housing needs; assess the adequacy of existing housing stock; and to assure adequacy of sites for future residential development in sufficient quantity and variety while preserving a desirable community character. This element is directly related to the land use element and community design element; thus the policies and action programs should be viewed in that context.

GOAL

Promote and insure provision of equity in housing opportunity by location, type, price, and tenure in existing and future development as indicated by the community plan.

OBJECTIVES

1. PROMOTE AND INSURE PROVISION OF ADEQUATE HOUSING FOR PERSONS REGARDLESS OF INCOME, AGE, RACE, SEX, ETHNIC BACKGROUND, MARITAL STATUS, FAMILY STATUS, RELIGION, OR DISABILITY.
2. ENCOURAGE A CONTINUING COMMUNITY INVOLVEMENT IN PLANNING ACTIVITIES AND IN PROJECTS AFFECTING HOUSING POLICIES AND PROGRAMS.

Policy 2.1 Retain the rural character of the community while providing adequate areas for a wide range of housing types that could be occupied by families of low and moderate incomes.

Action Program 2.1.1 The responsible regulatory agency should favor those development proposals that conform to the land use plan that have provisions for low- and moderate-priced units.

Action Program 2.1.2 A study should be undertaken by the County to determine the feasibility of allowing permanent individual mobile-homes to locate in areas that will remain in very low density rural development for the life of the plan.

Action Program 2.1.3 Direct the County Housing Authority to investigate the feasibility of providing subsidy for low- and moderate-income housing in the Alpine area and to make the results of that study available to Alpine residents. (It should be noted that the type of housing needed by Alpine residents are units appropriate for retired households; for those employed within the community, since public transit to employment centers is not available; and farm housing.)

3. ASSURE THE AVAILABILITY OF ADEQUATE HOUSING RESOURCES WITHIN THE PLAN AREA OF APPROPRIATE COST TO MEET THE NEEDS OF ALPINE RESIDENTS DISPLACED BY GOVERNMENT PROJECTS OR BY NATURAL DISASTER.

COMMUNITY DESIGN ELEMENT

INTRODUCTION

Government Code Section 65303 provides for the development of elements to community and general plans in addition to the mandated elements. The purpose of this element is to sustain and improve the unique character and aesthetic value of the Alpine Community Plan area. Contained herein are goals and objectives describing the qualities of the scenic environment that are desirable. Following are policies and action programs to effectuate those qualities through regulation of future development. It should be noted that the possible content of this element overlaps with that of the Scenic Highway Element so that the two should be considered together in order to understand the view-protection aspects of the community plan.

GOAL

Preserve and enhance the overall appearance of the town center and the residential neighborhoods that constitute Alpine by encouraging only those land uses and structural designs that are compatible with the existing rural character of Alpine.

OBJECTIVES

1. MAINTAIN THE EXISTING RURAL CHARACTER OF ALPINE IN FUTURE DEVELOPMENTS BY AVOIDING MONOTONOUS TRACT DEVELOPMENTS AND ENCOURAGE THE INNOVATION IN DESIGN THAT NOW EXISTS.

Policy 1.1 New PRD's, subdivisions, and tentative maps should reflect innovative aspects of site designs including:

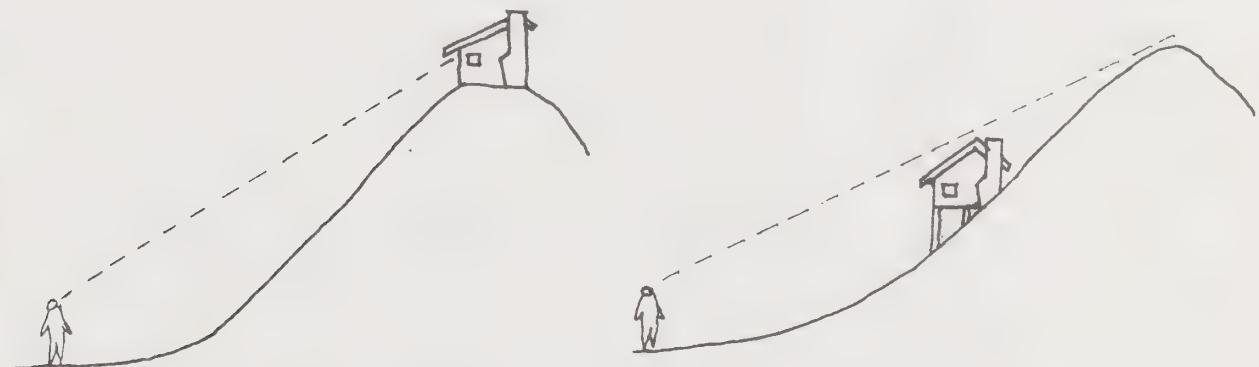
- Roads should reflect rural character (See Transportation Element).
- Home design should vary.
- Lot patterns and dedicated open space areas should reflect a sensitivity to environmental resources.
- Designs should blend with surrounding developments, topography; and landscaping should integrate man-made environment with the natural setting.
- Action Program 1.1.1 Direct the appropriate regulatory agency to inform land developers of Alpine plan design goals and objectives and to utilize the community design policies as decision making criteria.

2. ENCOURAGE THE PRESERVATION OF THE EXISTING CHARACTER OF THE PLANNING AREA BY MAINTAINING THE NATURAL CONTOURS AND VEGETATION OF PROMINENT SLOPES.

Policy 2.1 Site designs should meet the following criteria:

- Be in harmony with existing topography (See Diagram 2).
- Impacts of necessary grading should be minimized through wise grading practices and revegetation of landscape disturbed by grading.
- Landscape plans should maximize retention of natural vegetation and existing tree stands.

DIAGRAM 2
VIEWLINES TO SURROUNDING TOPOGRAPHY



3. ENCOURAGE APPROPRIATE LANDSCAPING AND ARCHITECTURAL DESIGNS FOR DEVELOPMENTS WITHIN THE ALPINE TOWN CENTER.

Policy 3.1 Site designs for commercial uses, public buildings, multiple-family developments, and parking lots should reflect the rural character of the community by maximization of front setbacks, extensive landscaping with use of vegetative types compatible with native plants, and architectural compatibility for public buildings

Action Program 3.1.1 Landscaping, lot coverage, and setback requirements may be added to the county zoning ordinance through the Land Use Element Action Program 4.1.1. The appropriate regulatory agency should consider the criteria discussed in Policy 3.1 when advising developers on the content of site designs, grading, and landscaping plans.

Action Program 3.1.2 The appropriate County agency shall direct that architectural plans as well as site designs of public projects be compatible with surrounding developments.

Policy 3.2 Encourage that all commercial signs be limited in size, lighting, and design so that they are in harmony with the existing character of the community.

Action Program 3.2.1 All areas designated for commercial use should be included in the Scenic Preservation Overlay zone.

Policy 3.3 Promote renovation of buildings in the Commercial area that are substandard or in poor repair.

4. SUPPORT AND ENCOURAGE UNDERTAKINGS TO DETERMINE THE DESIGN FEATURES THAT BEST CHARACTERIZE THE UNIQUENESS OF THE ALPINE TOWN CENTER.

Policy 4.1 The desirability of establishing design standards from Tavern Road to East Victoria Drive along Alpine Boulevard is recognized.

Action Program 4.1.1 The appropriate County agencies shall lend support through provision of data and information regarding County regulatory tools for establishment of a planned district to any private or non-profit groups preparing design plans for the commercial area.

Policy 4.2 Civic groups such as schools and community service organizations are encouraged to take on community beautification projects.

Action Program 4.2.1 The appropriate County agency shall lend assistance to groups proposing beautification projects in order to ascertain that long-term maintenance and care of such projects will be provided without the necessity for government-provided funding.

RECREATION ELEMENT

INTRODUCTION

The Recreation Element is authorized under Government Code, State of California, Section 65303. This element discusses the specialized recreational needs of the Alpine community. The element contains Goals and Objectives describing citizen perceived needs, park locational priorities, policies relating to criteria for site selection, and implementation measures in the action programs section. Riding and Hiking Trails proposals are included in the report with a map showing general trail locations.

GOAL

Support the establishment of a system of both natural and improved parks which will incorporate outstanding natural features and enrich the lives of Alpine residents.

OBJECTIVES

1. ENCOURAGE THE EARLY IDENTIFICATION AND ACQUISITION OF LOCAL PARK SITES IN ORDER TO REDUCE COSTS.

Policy 1.1 The County will implement a local park acquisition program in the Alpine area.

Action Program 1.1.1 Direct the Department of Parks and Recreation to prepare a local park acquisition program and include it as part of the annual update of the Local Park Plan and Program.

2. ENCOURAGE, AS THE HIGHEST PRIORITY, THE ACQUISITION AND DEVELOPMENT OF A COMMUNITY PARK NEAR THE TOWN CENTER TO SERVE AS A SOCIAL FOCAL POINT AND ACTIVITY CENTER. SUBSEQUENTLY ACQUIRE APPROPRIATE NEIGHBORHOOD MINI-PARKS.

Policy 2.1 Whenever feasible, the County shall acquire a community park prior to acquisition of mini-parks.

Action Program 2.1.1 Direct the Department of Parks and Recreation to acquire a community park site as the No. 1 local park acquisition priority and subsequently acquire the appropriate mini-park site(s), to the extent that acquisition funds are available.

Policy 2.2 Park sites shall be integrated with schools and public buildings wherever feasible.

Action Program 2.2.1 The Parks and Recreation Department shall utilize the criterion in Policy 2.2 in park site selection.

Policy 2.3 The County will commence to develop local parks in Alpine once a County service area or other appropriate entity for local park maintenance becomes operative to the extent that available funds permit.

Action Program 2.3.1 The Parks and Recreation Department will implement a local park development program for the Alpine area as part of the annual update of the Local Park Plan and Program in accordance with existing county procedures.

3. ENCOURAGE THE ACQUISITION OF PARK SITES OF OUTSTANDING SCENIC VALUE IN TERMS OF VIEWS, NATURAL VEGETATIVE COVER, WATERCOURSES, AND UNIQUE GEOLOGIC OUTCROPS. (See Policy 1.1 and Action Program 1.1.1).
4. SUPPORT MEASURES THAT WILL MAKE AVAILABLE FOR PUBLIC USE LAND AROUND THE LOVELAND RESERVOIR.

Action Program 4.0.1 Direct the Department of Parks and Recreation to study the feasibility of acquiring land around Loveland reservoir for public recreation use.

5. SUPPORT THE ESTABLISHMENT OF AN APPROPRIATE ENTITY TO PROVIDE FOR PARK AND RECREATION FACILITIES, SERVICES, MAINTENANCE, AND OPERATION.

Policy 5.1 The County will assist Alpine residents in appropriate ways regarding the establishment and implementation of a County Service Area or similar entity to cover primarily the maintenance of local parks, and also secondary acquisitions, development, and recreation services.

Action Program 5.1.1 The Department of Parks and Recreation shall follow existing county procedures to assist Alpine residents in the initiation of their proposal for establishment of a County Service area or other appropriate community-based entity to maintain Alpine local parks.

6. ENCOURAGE UTILIZATION OF ALL POTENTIAL SOURCES OF FUNDING AND AID THAT WILL IMPROVE THE VIABILITY OF YOUTH RECREATIONAL FACILITIES AND EDUCATIONAL ACTIVITIES OF ALL AGE GROUPS.
7. ENCOURAGE THE ESTABLISHMENT OF AN AREA TO HOUSE HISTORIC STRUCTURES AND ARTIFACTS.

Policy 7.1 The community shall include a site for housing a limited number of historic structures, if feasible.

8. ENCOURAGE THE DEVELOPMENT OF A SYSTEM OF EQUESTRIAN AND HIKING TRAILS THROUGHOUT THE COMMUNITY TO LINK RESIDENTIAL NEIGHBORHOODS WITH THE TOWN CENTER AND THE REGIONAL TRAILS NETWORK.

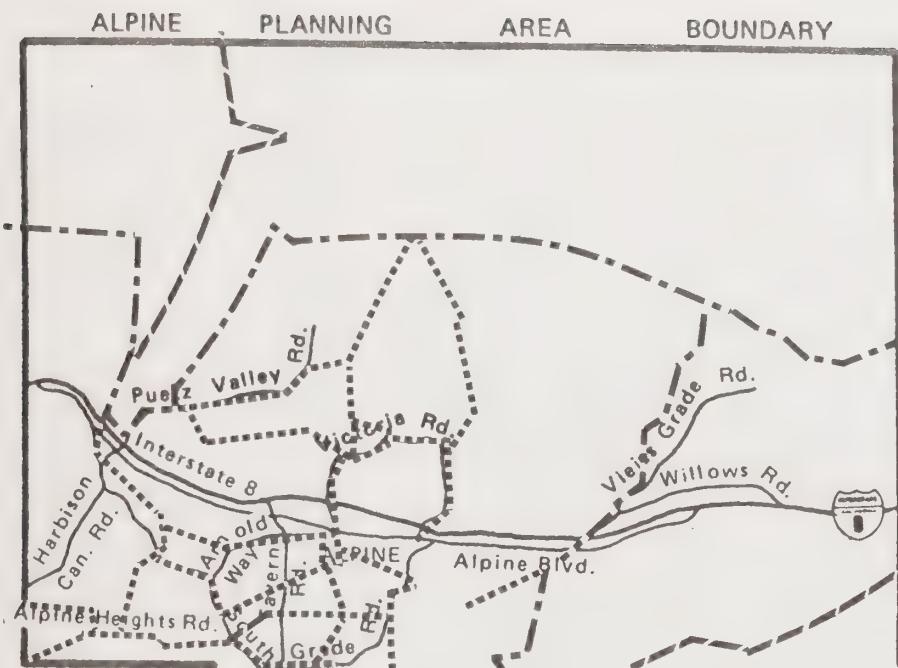
Policy 8.1 Upon adoption of the County Riding and Hiking Trails Plan, the County will pursue the acquisition, development, operation, and maintenance of riding and hiking trails.

Action Program 8.1.1 The County will prepare an implementation program for the acquisition and development of riding and hiking trails for the Alpine area and include it as part of the annual update of the County Capital Facilities Program.

Action Program 8.1.2 The County will implement a program for the operation and maintenance of riding and hiking trails using all appropriate funding sources available.

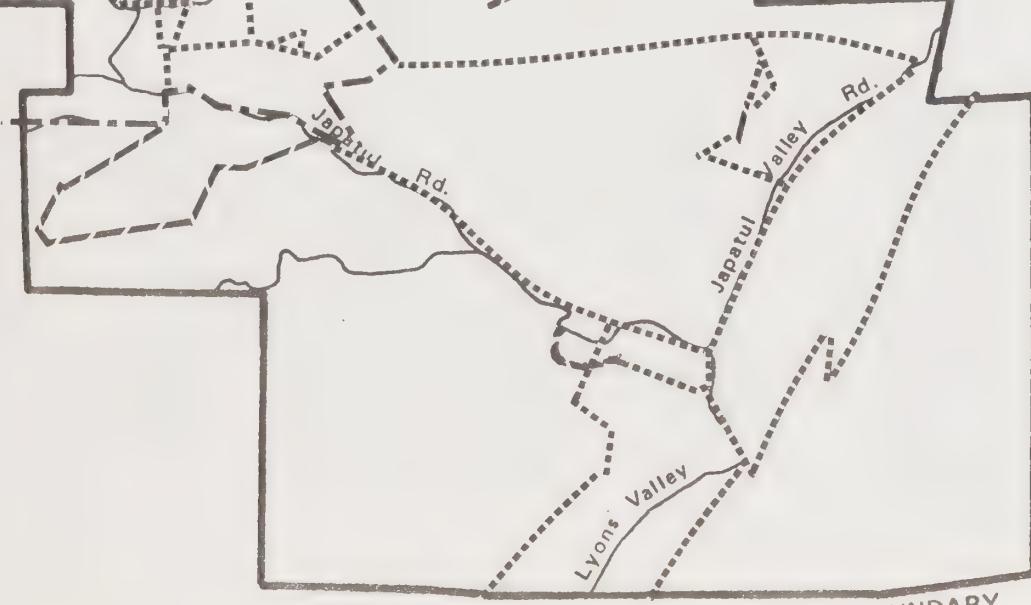
9. ENFORCE STRICT CONTROLS PROHIBITING OFF-ROAD VEHICLE USE IN OTHER THAN SPECIFICALLY DESIGNATED AREAS.

Policy 9.1 No public recreational off-road vehicle use areas shall be designated for the Alpine Community Plan Area due to fire hazard and environmental sensitivity.

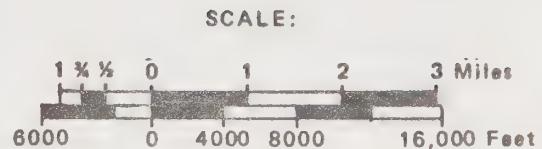
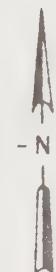


RIDING & HIKING TRAILS

- - - Regional Corridor (California Riding & Hiking Trail)
- Existing Trails or Roads
- - - Proposed Trails



ALPINE PLANNING AREA BOUNDARY



OPEN SPACE ELEMENT

INTRODUCTION

The Open Space Element is prepared under California Government Code Section 65560 for the purpose of identification, description, and preservation of open space area in the Alpine Community Plan. Open space is defined as any parcel or area of land or water which is unimproved and devoted to the preservation of natural resources, managed production of resources, outdoor recreation, or the protection of public health and safety. This element supplements the County General Plan Open Space Element by providing direction specific to the locale. The element should be viewed in the context of the entire plan, and does not attempt to cover material contained in such other Alpine plan elements as Land Use, Conservation, Recreation, Scenic Highway, and Public Safety. However, these elements compliment each other.

GOAL

Encourage the retention of areas in open space that are recognized as valuable for conservation of resources, open space type recreation, safety purposes, inappropriate for urbanization or required as buffers for urban development.

OBJECTIVE

1. ENCOURAGE THE DEVELOPMENT AND PRESERVATION OF A SYSTEM OF OPEN SPACE CORRIDORS LINKING RESIDENTIAL AREAS TO PERMANENT OPEN SPACE IN THE CLEVELAND NATIONAL FOREST.

Policy 1.1 Encourage the incorporation of open space areas as integral parts of project site designs, to preserve environmental resources, provide recreation for residents, and provide buffers to maintain neighborhood identities.

Action Program 1.1.1 Direct the agency responsible for the review of Planned Residential Developments, Specific Plan Areas and other large-scale development projects that may require dedication of open space areas to utilize the Resource Conservation Map in determining location of such open space (See Resource Conservation Area Map).

Action Program 1.1.2 Utilize Land Use Policy 3.3 to effectuate the use of agricultural areas as open space buffers between developments.

Action Program 1.1.3 Direct the appropriate environmental agency to require an EIR or Extended Initial Study in conjunction with any discretionary permit application whose subject area includes any portion of areas included on the Resource Conservation Areas (RCA) map.

Action Program 1.1.4 Direct the agency responsible for the acquisition and development of parks to acquire sites that link with the open space corridors formed by the RCA's.

2. ENCOURAGE THE PRESERVATION OF WATERCOURSES IN THEIR NATURAL FORMS AND DISCOURAGE THE DEVELOPMENTS THAT WOULD REQUIRE STREAM CHANNELIZATION.

Policy 2.1 Floodplains and watercourses in proposed developments should be protected from impacts of development.

Action Program 2.1.1 The appropriate County agency shall prepare maps showing floodplains in the Alpine Community Plan area.

3. ENCOURAGE THE CONSOLIDATION OF OPEN SPACE LANDS OWNED BY PUBLIC AGENCIES OR IN DEDICATED OPEN SPACE AREAS.

Policy 3.1 When acquiring open space or reviewing the proposals of the U.S. Forest Service pertinent to federal ownerships and acquisitions in the Alpine plan area, attempts should be made to consolidate open space holdings.

CONSERVATION ELEMENT

INTRODUCTION

The Conservation Element identifies and describes the natural resources and conservation issues pertinent to the Alpine Plan area, and the element contains policies and action programs to conserve these resources. The element should be viewed in conjunction with the other elements of the Alpine Community Plan as well as the Countywide Conservation Element for the comprehensive treatment of environmental resources in the Alpine Plan area. The resources involved include vegetation and wildlife, soil, water and air quality, light pollution, and cultural resources. This element acts as a supplement for the Conservation Element of the General Plan exclusively for the Alpine Plan area.

GOAL

Promote the well-planned management of all valuable resources, natural and man-made, and prevent the wasteful exploitation of natural resources.

OBJECTIVES

1. ENCOURAGE THE PROTECTION AND CONSERVATION OF UNIQUE RESOURCES IN THE ALPINE PLAN AREA.

Policy 1.1 Important, viable plant, animal, mineral, water, cultural and aesthetic resources in the Alpine Plan area shall be protected through utilization of the Resource Conservation Area designations and appropriate land usage.

Action Program 1.1.1 Agencies regulating environmental reports and analyses required by the California Environmental Quality Act (CEQA) shall require supplemental studies for projects with land located in RCA's if necessary.

Action Program 1.1.2 The appropriate County agency shall amend the County guidelines for the implementation of CEQA to provide for expanded technical studies of identified resources when projects occur within adopted RCA's in the Alpine Community Plan.

2. SUPPORT STRICT CONTROLS OVER PROPOSED DISCRETIONARY LAND USES TO INSURE THAT DEVELOPMENT PROPOSALS IN AREAS NOT SERVED BY IMPORTED WATER ARE CONSISTENT WITH THE LONG-TERM AVAILABILITY OF LOCAL GROUNDWATER RESOURCES.

Policy 2.1 Development in Alpine for which a discretionary permit is required shall be consistent with long-term groundwater availability by using the criterion of minimum 8-acre parcel sizes in areas not served by imported water unless long-term groundwater availability can be proven.

Action Program 2.1.1 The appropriate County agency will identify and map the locations of groundwater basins.

Action Program 2.1.2 The appropriate agency shall undertake an annual groundwater monitoring program for the Alpine area in order to analyze groundwater quality, supply, and usage patterns. This shall be distributed to appropriate environmental units in the county.

Action Program 2.1.3 The appropriate environmental units shall utilize the report on groundwater monitoring in the processing of EIR's to assess the cumulative impacts of development upon Alpine's groundwater supply.

3. ENCOURAGE THE USE OF RECLAIMED WATER FOR AGRICULTURE, IRRIGATION, RECREATION, INDUSTRY, AND OTHER APPROPRIATE USAGES.
4. ENCOURAGE THE REGULATION OF USES OF WATER AREAS WITHIN THE COMMUNITY PLANNING AREA TO INSURE THAT SUCH USES ARE COMPATIBLE WITH EXISTING ECOSYSTEMS.

Policy 4.1 Conserve water and biological resources of El Capitan Reservoir, Loveland Reservoir, and other water bodies and streams by utilization of Resource Conservation Area designations. Waste water discharge into water areas shall be controlled. (See the following areas on the Resource Conservation Areas Map: #1, El Capitan Reservoir; #2, riparian areas in Peutz Valley; #3 and #4, riparian areas in the towncenter; #7, eastern portions of Viejas Creek; #8, Sweetwater River Canyon, #9 and #10, the Loveland Reservoir area; and #11, the Pine Valley Creek region.)

Action Program 4.1.1 The appropriate agency shall develop criteria for conservation of resources contained in the Resource Conservation Areas.

5. ENCOURAGE STANDARDS TO LIMIT SOIL EROSION.

Policy 5.1 Improve the effectiveness of the Grading Ordinance as related to maintenance of revegetated slopes and enforcement of permit requirements.

Action Program 5.1.1 Direct the County to undertake a study to determine the feasibility of establishing regular inspections on illegal grading activities and of providing final inspections to determine if revetations required by the Grading Ordinance have actually occurred.

6. ENCOURAGE THE PRESERVATION OF DIVERSE, VIABLE NATURAL HABITATS IN THE PLANNING AREA. (See the following Resource Conservation Areas that support functional wildlife habitats; rare, endangered, and semi-endangered species: #1, El Cajon Mountain wildlife habitat area; #2, Peutz Valley riparian areas, #3 and #4, riparian areas in the vicinity of the Alpine towncenter, #5, Viejas Mountain animal habitat areas, #6, Poser Mountain-Viejas Grade Region areas with wildlife habitats, #7, eastern portions of the Viejas Mountain - Viejas Grade Region; #7, eastern portions of Viejas Creek; #8, Sweetwater River Canyon; #10, Japatul Road - Loveland drainage area; #11, Horsethief Canyon - Pine Valley Creek region; and #12, Gaskill Peak Region.)

Policy 6.2 Cumulative effects of habitat disturbance should be addressed during evaluation of environmental impacts of discretionary proposals.

Action Program 6.2.1 The County shall maintain a continuous cumulative account by habitat type, of habitat destroyed or disturbed by new development in the Alpine Plan area, using the Alpine Basic Data Report as a basis.

Policy 6.3 Every effort should be made to sustain mature, healthy trees existing within the Alpine Plan area, especially those in the towncenter.

Action Program 6.3.1 County agencies reviewing site plans, landscaping plans, and grading plans shall favor the use of existing native vegetation, especially mature, healthy trees.

7. ENCOURAGE THE PRESERVATION AND PROTECTION OF UNIQUE RESOURCES SUCH AS IMPORTANT HISTORIC AND ARCHAEOLOGICAL SITES, SCENIC ROCK OUTCROPPINGS, VIEW POINTS, SCENIC AREAS, AND NATURAL TERRAIN.

Policy 7.1 Known archaeological sites of significance should be protected until they have been properly studied and salvaged by qualified archaeologists, so that their scientific value may be realized.

Action Program 7.1.1 Locations of significant archaeological sites shall be pinpointed by requirements for detailed studies through the EIR process on those areas shown for high archaeological potential on the Resource Conservation Area map.

Appropriate recovery of the site should be required as a mitigating measure for projects requiring full EIR's.

Policy 7.2 The deposit of the rare mineral dumortierite should be preserved for its scientific and educational value. (See Resource Conservation Area Map, Resource Conservation Area #14, where the location of the rare mineral dumortierite is shown in the vicinity of the intersection of Tavern Road, Japatul Road and Dehesa Road.)

8. SUPPORT STRICT CONTROLS OVER POLLUTANTS OF THE AIR SUCH AS DUST, SMOKE, AND AUTO EMISSIONS.

Policy 8.1 Improve the air quality in the Alpine area by decreasing pollutants generated from the Alpine area through implementation of the Regional Air Quality Strategy (RAQS) and the community plan.

Action Program 8.1.1 The Integrated Planning Office shall coordinate with the Air Pollution Control District and appropriate County agencies to determine and propose feasible measures for implementing Tactic T-2 (carpooling), Tactic T-3 (communications and home goods delivery), Tactic T-7 (Bicycle Systems) Tactic *** (Process for coordinated Land Use and Transportation Actions, and other appropriate measures described in RAQS).

Action Program 8.1.2 As part of the Countywide program to accomplish the objectives of the RAQS, the Integrated Planning Office shall coordinate with the Air Pollution Control District and other agencies in the San Diego air management process to propose future plan amendments to regional, general, or community plans as new techniques in air quality planning become available that will improve air quality. This community plan shall be amended as appropriate in support of this overall effort.

Policy 8.2 Reduce impacts of air pollution on Alpine residents through timely notification of high pollution levels.

Action Program 8.2.1 The Integrated Planning Office shall request the Air Pollution Control District to cooperate with local residents and public service officials to establish a pollution alerting system to notify residents of pollution impact preventive measures in a timely fashion.

9. SUPPORT THE IMMEDIATE DEVELOPMENT OF STANDARDS FOR STRICT CONTROLS OVER LIGHT POLLUTION TO PRESERVE THE DARK NIGHT SKY CHARACTERISTICS OF ALPINE.

Policy 9.1 Effectuate controls over light pollution through implementation of Action Programs 1.1 through 1.4 in the Conservation Element of the County General Plan.

Action Program 9.1.1 The appropriate County agency shall coordinate county efforts and input from local experts in astronomy and lighting to prepare a dark sky ordinance.

ALPINE COMMUNITY PLAN



LEGEND

Resource Conservation Area

NOISE ELEMENT

INTRODUCTION

San Diego County, like all other urbanizing areas, is experiencing increases in the noise levels in its acoustical environment. This acoustical environment consists of background and ambient noise, and peak noise from transportation and fixed point sources. Depending on the duration of exposure, incrementally higher levels of noise are harmful.

The purpose of the Noise Element is to prescribe programs aimed at reducing adverse noise levels in the County by adopting policies which will further improve planning, building, and development practices. This document is meant to supplement and amend the adopted Countywide Noise Element only for the Alpine Plan area.

GOAL

Protect and enhance Alpine's acoustical environment.

OBJECTIVES

1. ENCOURAGE LAND USE AND CIRCULATION PATTERNS WHICH WILL MINIMIZE NOISE IN RESIDENTIAL NEIGHBORHOODS.

Policy 1.1 The existing rural peace and quiet of the Alpine Community Planning Area should be maintained in accordance with the San Diego County General Plan Noise Element.

Action Program 1.1.1 Direct the Integrated Planning Office to lower the "acceptable" (ref. Table 3, Pg VIII-18, General Plan Noise Element) noise level to the actual existing level as provided for in Action Program 465 of the General Plan Noise Element.

Policy 1.2 Support efforts to further study and implement road designs which reduce noise levels.

Policy 1.3 Noise levels along Alpine Boulevard in the vicinity of community facilities should be continually monitored so that anticipative mitigating measures may be taken before noise impacts become adverse.

Action Program 1.3.1 Direct the appropriate County agency to undertake an annual monitoring of noise levels along Alpine Boulevard.

2. ENCOURAGE THE STRICT ENFORCEMENT OF REQUIREMENTS FOR NOISE BUFFERING DEVICES ON OFF-ROAD VEHICLES.

SEISMIC SAFETY ELEMENT

INTRODUCTION

The purpose of the Seismic Safety Element, a required element under Government Code Section 65302(f), is to identify potential seismic hazards and to provide programs aimed at reducing such risk. There are no known seismic hazards of large-scale significance in the Alpine Plan area. This element supplements the adopted Countywide Seismic Safety Element only by treatment of smaller scale risks.

GOAL

Support the goals and objectives of the Seismic Safety Element of the County General Plan.

Policy 0.1 Isolated seismic hazards should be identified during project-level analysis on discretionary projects.

Action Program 0.1.1 Direct the appropriate County agency to identify the existence of minor faults, deeply weathered slopes, and/or adverse rock fracturing conditions occurring on any property which is the subject of a discretionary permit application and to assess the potential for seismic hazards caused by such faults, weatherings or fracturing.

PUBLIC SAFETY ELEMENT

INTRODUCTION

The California Government Code (Section 65302.1) requires the County to include public health and safety considerations in an element of the general plan. The San Diego County General Plan contains a Public Safety Element. The Public Safety Element of the Alpine Community Plan provides a refinement of the unique concerns deemed significant to the Alpine area. As a part of this element, fire protection, utility maintenance, law enforcement, health services, and safety in firearm usage have been addressed.

GOAL

Promote the establishment of emergency procedures and preventative measures to minimize damage from fire, geologic hazard, or crime occurrence.

OBJECTIVES

1. ENCOURAGE THE ESTABLISHMENT OF A COMMUNITY FUEL MANAGEMENT AND FIRE SAFETY PROGRAM IN CONJUNCTION WITH APPROPRIATE EXISTING PUBLIC AGENCIES.

Policy 1.1 The County will seek to minimize the structural and wildlife hazard within the Alpine area.

Action Program 1.1.1 Direct the appropriate County agency to seek the establishment of a joint fire fuel management and fire protection capability in conjunction with the Alpine Fire Protection District, California Division of Forestry and the National Forest Service.

Action Program 1.1.2 Direct the appropriate County agency to require an acceptable level of fire protection for all approved development through appropriate discretionary permit processes.

Action Program 1.1.3 Agencies reviewing site designs and landscaping plans will inform developers of fire preventive development practices and fire resistant plant types.

Action Program 1.1.4 Agencies responsible for the review of Environmental Impact Reports should treat fire hazard in Alpine as a serious environmental consideration and require detailed information on the subject.

2. INSURE THE ADEQUATE INSPECTION AND MAINTENANCE OF ALL UTILITIES WHICH COULD POSE A HAZARD TO THE COMMUNITY.

Policy 2.1 The County will utilize its authority to reduce hazards posed by utilities in the Alpine area.

Action Program 2.1.1 The appropriate county office will request those County departments which provide or review the installation of utilities to report on potential programs to improve the safety of potentially hazardous facilities.

3. PROMOTE EXPANSION OF FIRE, POLICE, AND EMERGENCY HEALTH SERVICES AS NEEDED.

Policy 3.1 The County will encourage the commitment of new development to recognize efficient fire, law enforcement, and emergency health services, vehicle access and visibility.

4. ESTABLISH AND ENFORCE MEASURES THAT WILL MINIMIZE DISTURBANCE AND PREVENT DAMAGE RESULTING FROM UNRESTRICTED USE OF FIREARMS.

Policy 4.1 The County will promote safety in the use of firearms.

Action Program 4.1.1 Direct the Department of Education and the Sheriff's Department to encourage volunteers to provide National Rifle Association firearm safety courses to all interested individuals.

TRANSPORTATION (CIRCULATION) ELEMENT

INTRODUCTION

Government Code Section 65302(b) requires a circulation element in all city and county general plans. Sheets 4, 5, 6, and 7 of the County Circulation Element will be amended to incorporate this community plan transportation element. This element is composed of a 1995 Street and Highway Plan, a Bicycle Route map, and the following text.

GOAL

Establish a transportation system which will serve the general convenience of Alpine citizens and enhance the beauty, quality and atmosphere of the Alpine area.

OBJECTIVES

1. SUPPORT TIMELY AND ADEQUATE PUBLIC NOTIFICATION AND REVIEW OF ALL PROPOSED CHANGES IN THE COMMUNITY TRANSPORTATION SYSTEM.

Policy 1.1 Provide County (Alpine) residents with 30 days notice of transportation projects requiring an Environmental Impact Report.

Action Program 1.1.1 The appropriate County agency shall assure adequate public notice by providing EIR material on transportation projects to the official planning group for Alpine and residents who file requests to receive such materials.

Action Program 1.1.2 Request CALTRANS to draft and adopt a policy to assure adequate public notice.

2. ENCOURAGE THE CONSIDERATION OF ALL ALTERNATIVES FOR DEALING WITH CONGESTED ROADS.

Policy 2.1 Support the existing bus systems which connect Alpine with metropolitan San Diego.

Action Program 2.1.1 Direct the Community Services Agency to promote bus ridership among Alpine residents, by contacting local newspaper offices at least bi-annually to apprise local residents of the bus schedule.

Policy 2.2 Minimize traffic congestion on Alpine Boulevard.

Action Program 2.2.1 Direct LUER to encourage the design of new subdivisions to access roads other than Alpine Boulevard.

Action Program 2.2.2 IPO shall request that CALTRANS provide in long-range plans for the construction of west-serving ramps onto I-8 from Victoria Drive.

Policy 2.3 Establish new County road standards which are appropriate to the semi-rural Alpine community.

Action Program 2.3.1 Direct the Department of Transportation to prepare construction and right-of-way standards for a "Rural Collector" road, a two-lane road within 84' right-of-way, and propose a circulation element amendment for the purpose of adding the Rural Collector designation. The Rural Collector designation will be appropriate in remote areas (outside the urban limit line) where urban or suburban development is precluded by the adopted County General Plan.

Action Program 2.3.2 Direct the Department of Transportation to propose a circulation element amendment for changing the designation of appropriate roads in Alpine from the Collector to the Rural Collector designation.

3. SUPPORT FIRE SAFE ROAD DESIGN WITHIN THE COMMUNITY WHICH MINIMIZES GRADING AND IS ALSO COMPATIBLE WITH THE TOPOGRAPHY AND LANDSCAPE OF THE ALPINE AREA.

Policy 3.1 Include Fire Safe Road Standards as criteria for County evaluation of proposed road and subdivisions.

Action Program 3.1.1 Direct that the County Department of Transportation review standards for fire access roads to assure their utility for access by modern fire fighting equipment.

Action Program 3.1.2 Direct the County Department of Transportation to strictly enforce County policies that provide for replacement of all healthy, mature trees lost during highway maintenance or improvement projects.

4. LOCATE MAJOR ROADS TO BE CONSTRUCTED IN THE FUTURE SO AS TO BY-PASS RATHER THAN DIVIDE RESIDENTIAL NEIGHBORHOODS.
5. ESTABLISH A COMMUNITY NETWORK OF BIKEWAYS, EQUESTRIAN AND PEDESTRIAN TRAILS CONNECTING RESIDENTIAL AREAS TO SCHOOLS, RECREATIONAL FACILITIES AND THE TOWN CENTER.

Action Program 5.0.1 The Integrated Planning Office shall incorporate the Alpine bicycle routes into the County schedule of improvements for implementation of a planned bicycle routes utilizing the priorities outlined in the community plan (See Appendix D for priorities).

6. PROMOTE SAFE AND ATTRACTIVE PEDESTRIAN, BICYCLE, AND EQUESTRIAN CROSSINGS AT LOGICAL POINTS ON MAJOR ROADS.

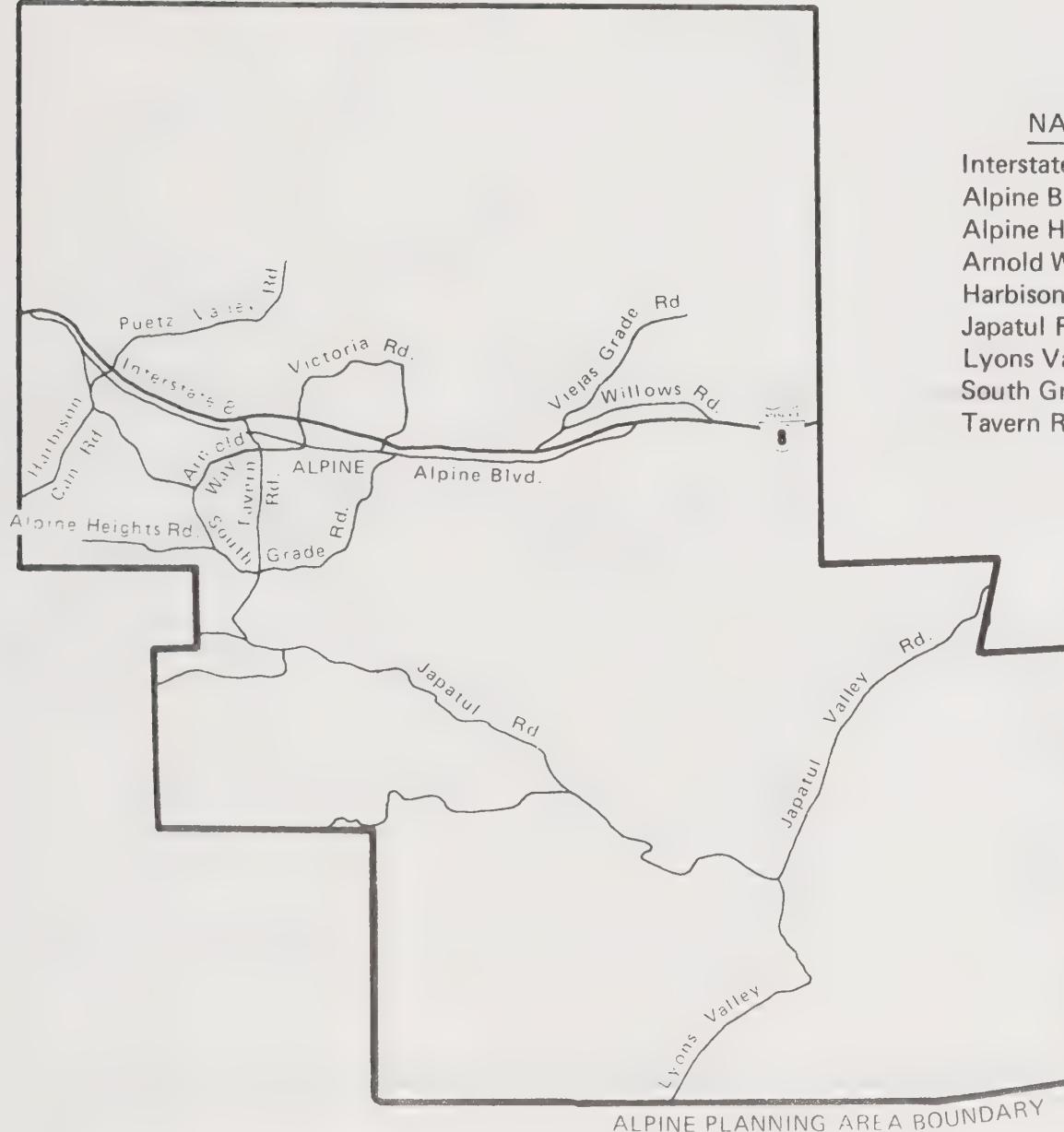
Action Program 6.0.1 The County Department of Transportation shall initiate and complete a detailed study identifying necessary pedestrian and equestrian crossing facilities along Alpine Boulevard in the towncenter area.

Policy 6.1 Promote the design of commercial and industrial developments to minimize the need for automobiles to cross pedestrian walkways and to avoid backing onto highways designated major or prime arterial status.

Action Program 6.1.1 LUER shall amend the pertinent ordinances and standards necessary to achieve Policy 6.1 (See also Land Use Policy 4.1).

FIGURE : ALPINE PLANNING AREA EXISTING STREETS AND HIGHWAYS

ALPINE PLANNING AREA BOUNDARY



EXPLANATION

NAME	EXISTING STATUS
Interstate 8	Full State Freeway – 5 lanes
Alpine Blvd.	Two-lane County Road
Alpine Heights Road	" "
Arnold Way	" "
Harbison Canyon Road	" "
Japatul Road	" "
Lyons Valley Road	" "
South Grade Road	" "
Tavern Road	" "

SCALE



FIGURE : ALPINE PLANNING AREA PROPOSED STREETS AND HIGHWAYS, 1995

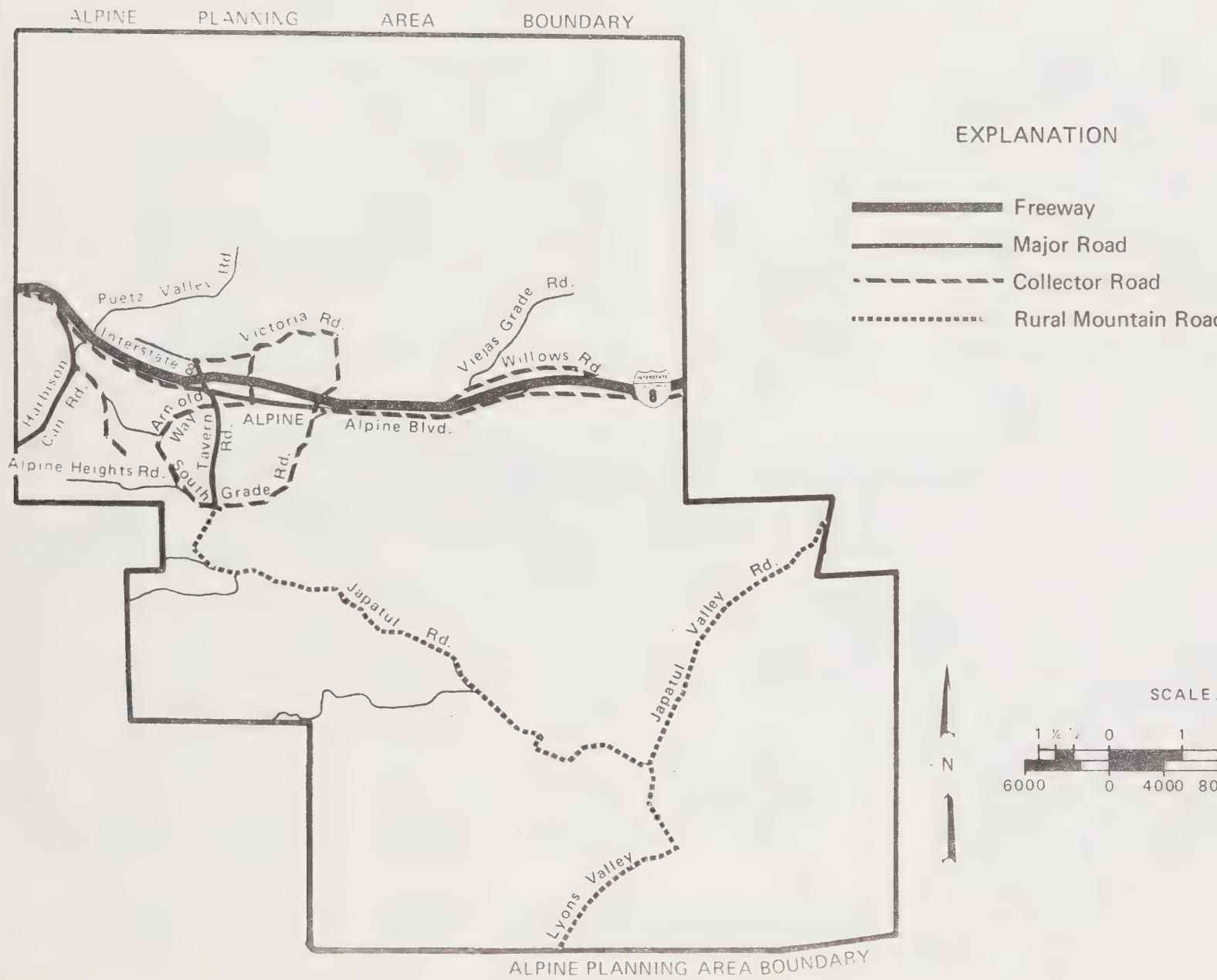
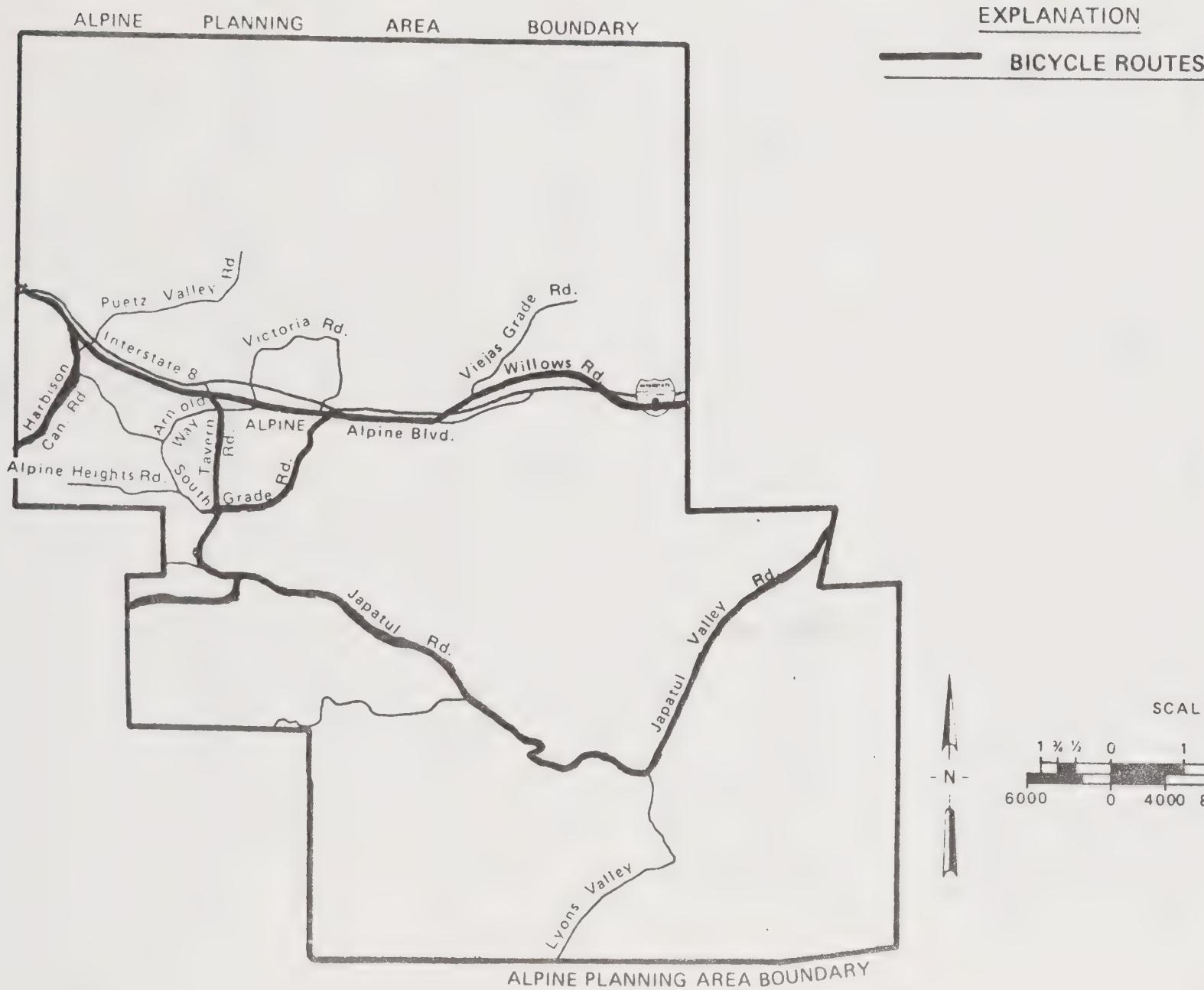


FIGURE : ALPINE PLANNING AREA PROPOSED BICYCLE ROUTES, 1995



SCENIC HIGHWAY ELEMENT

INTRODUCTION

Government Code Section 65302(h) requires a scenic highways element for all general plans.

The scenic highways element proposes to promote scenic highways in this community by means of identifying them on the community plan maps and by providing written policies and action programs.

The challenge of the scenic highways element of this plan is to identify those roads of scenic value in the unincorporated area and tie them together with neighboring communities with identified and adopted scenic road systems. Following this identification, some means of preservation and funding for the scenic corridor must be designated to assure it is not violated by unsightly structures or land uses and is maintained and improved.

GOAL

Promote the early designation of a scenic highway system which will provide attractive and scenic travel routes within the Alpine Planning area.

OBJECTIVES

1. ENCOURAGE THE USE OF OPEN SPACE EASEMENTS, PUBLIC OWNERSHIPS AND OTHER MEANS OF PRESERVING AND ENHANCING SCENIC HIGHWAY CORRIDORS.

Action Program 1.0.1 Amend the zoning along three designated scenic highway routes in the plan area by implementation of the Scenic Preservation Overlay Zone along the roads designated as Scenic Highways in the County General Plan.

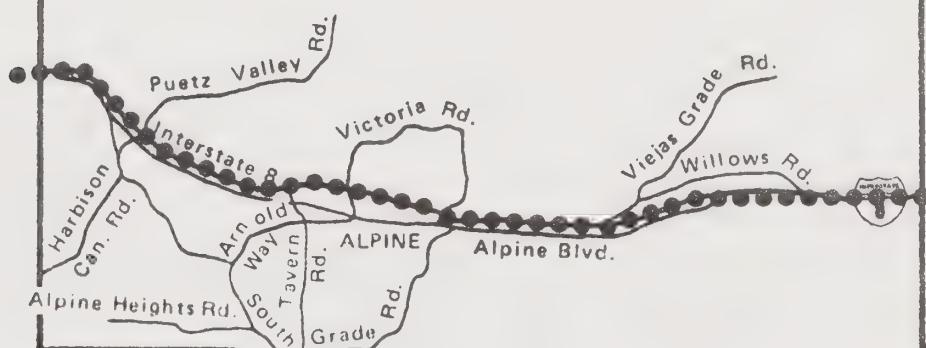
Action Program 1.0.2 The agency responsible for zoning implementation should delineate all areas within 10,000 feet of the scenic highways for Scenic Preservation Overlay Zone excluding all areas not clearly visible from the scenic highways.

2. SUPPORT THE PRIORITY OF THE SCENIC HIGHWAYS ROUTES IN THE ALPINE PLAN AREA AS DESIGNATED IN THE COUNTY GENERAL PLAN.

Policy 2.1 Support priorities for scenic highway corridors in the Alpine Plan area as follows: Interstate 8, second priority; Lyons Valley Road third priority; Japatul Road from its intersection with Lyons Valley Road to its intersection with Intersection 8, third priority.

SCENIC HIGHWAYS

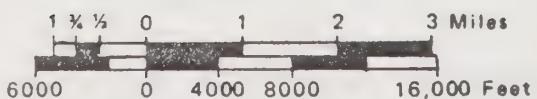
ALPINE PLANNING AREA BOUNDARY



..... Second Priority

..... Third Priority

SCALE:



ALPINE PLANNING AREA BOUNDARY

CHAPTER 3 - SPECIFIC PLAN AREAS

ALPINE SPECIFIC PLAN AREA (0 DU/AC)

ALPINE CREEK CENTER

DESCRIPTION OF AREA

Specific Plan Area (0 DU/AC) consists of two parcels totalling 31 acres, which is in common ownership and is located near the I-8 exit onto Tavern Road. The first parcel of nine acres is bordered by Tavern Road, Alpine Boulevard, Administration Way, and Arnold Way. This parcel is fairly flat, and obscured from view from Alpine Boulevard by a small bluff of rock created by the cut made when Alpine Boulevard was constructed. The second parcel of 22 acres is located directly west, on the opposite side of Tavern Road. This parcel is fairly rugged, distinguished by the small creek flowing through it.

PROJECT BACKGROUND

This area is currently undeveloped and remains unsubdivided. The zoning was changed in March, 1974 from A-1(1) to (P)C on the smaller parcel and to (P)C-2 on the larger parcel, the provisional status placed thereon to require that a Final Map be approved prior to removal of the Provisional (P) status. A Tentative Map (No. 3377) has been approved by the Department of Land Use and Environmental Regulation, with Final Map approval delayed until the property can be hooked up to provide for the disposal of sewage. The plans for the area include a community-serving shopping center on the nine acre parcel and a very low intensity recreational area with arts and crafts orientation on the 22 acre site, the vast majority of which would be in an open space easement.

CONDITIONS

The Specific Plan Area (0 DU/AC) shall be developed under the following conditions:

1. Satisfy the conditions established by the Board of Supervisors on March 6, 1974.
2. Comply with the requirements and design standards established by the Department of Land Use and Environmental Regulation through Tentative Map No. 3377.
3. There should be no substantial changes to the plan, particularly the amount of open space, as was indicated on T.M. No. 3377 as of September, 1976.
4. The overall design and appearance of the project should be compatible with the overall character of the community.
5. Coverage by buildings and paved area on the 22 acre parcel should not exceed 20,000 square feet.

6. All the goals and objectives of the Alpine Community Plan shall apply to the project.
7. All lighting is to be such that night-sky illumination is limited.

ALPINE SPECIFIC PLAN AREA (5.6 DU/AC)

DESCRIPTION OF AREA

Specific Plan Area (5.6 DU/AC) contains approximately 40 acres located south of Alpine Boulevard in the vicinity of South Grade Road.

PROJECT BACKGROUND

This area is currently vacant, under a single ownership that has never been subdivided. The proposed project includes provision for a small commercial development, small multiple-family development project, and the majority of the acreage would be placed in low density, single-family residential usage.

CONDITIONS

The Specific Plan Area shall be developed under the following conditions:

General

1. Maximum overall average residential density will be 5.6 dwelling units per acre. This will allow a total of 225 dwelling units.
2. All goals, objectives, and policies of the Alpine Community Plan shall apply.
3. Design shall be compatible with surrounding development. Provisions shall be made to negate nuisance factors that could impact residential development both within and adjacent to this project.
4. Phasing of the development should be permitted in the following order:
 - Low density, single-family residential phase may be initiated prior to submission of detailed development plans for the commercial or multiple family segments.
 - Building permits for the commercial and multiple family segments of this development should be contingent upon dedication and improvement of realignment of South Grade Road.

Specific

1. Residential
 - a. No more than seven and one-half acres should be devoted to multiple-family residential usage. The multiple-family acreage should be adjacent to the commercial development in order to provide a buffer between the commercial and low density residential developments.

- b. Design of the development should be such that landscaping and building locations blend with surrounding single-family development.
- 2. Commercial
 - a. No more than ten acres should be devoted to commercial uses. These uses should be the type to serve the local area, low intensity, and developed in a more open, rural-type atmosphere than urban commercial developments.
 - b. In order to preserve the rural character, no more than 75% of the commercial acreage should be covered with buildings and pavement for parking.
 - c. Landscaping should be maximized, with sufficient groundcover to minimize the impact on surrounding residential areas, and to cover any areas disturbed or scarred by grading. Proper restoration must follow all necessary grading.
 - d. Due to the site location, visibility from the freeway, and easy accessibility, certain freeway service facilities, such as a motel and restaurant would be appropriate uses.

CHAPTER 4 - APPENDICES
INFORMATION ONLY - NOT ADOPTED

APPENDIX A
PUBLIC FACILITIES AND SERVICES ANALYSIS

During the development of the community plan, the availability and adequacy of public facilities and services was investigated and analyzed. The Alpine Basic Data Report provides detailed information concerning the responsible jurisdictions including capacity of existing facilities.

The community plan provides a basis for projecting future needs of the community. The following analysis was prepared with the assistance of the various responsible jurisdictions and departments and summarizes the impact of the community plan on public facilities and services in the area. Sections on the following facilities and services are included:

1. Water
2. Liquid Waste
3. Solid Waste
4. Fire Protection
5. Library
6. Law Enforcement and Traffic Control
7. Education

Recommendations are included in some of these reports that will be provided for informational purposes to the public and semi-public agencies that provide the services.

WATER

The responsibility for providing water service in the Alpine Community Plan area rests with the Rio San Diego Municipal Water District. The Rio San Diego Municipal Water District encompasses 13,000 acres within the Alpine Community Plan Area. Those areas not encompassed by the Water District must obtain their water from other sources such as private wells.

The District has constructed an extensive network of pump stations, pipelines and storage reservoirs to transport, store and distribute potable water throughout Rio's Alpine Service Area. The most visible of the water supply network are the four storage reservoirs located within the Alpine Community Plan area. The location and elevation of these reservoirs determine in general the areas that can be served by Rio.

Rio's existing water distribution and storage system is adequate to provide for the current domestic and agricultural needs of Alpine. However, on April 8, 1974, Rio's Board of Directors adopted a resolution establishing a moratorium on new water connections in the West Victoria Reservoir and Viejas Reservoir Service areas. The moratorium was established not because of a shortage of water but because the existing distribution facilities were unable to satisfy minimum fire flow demands (1,000 - 5,000 GPM for 4-10 hours).

Projected Needs

The future water needs of the Alpine Community Plan Area are directly related to the future water needs of the Rio San Diego Municipal Water District. These needs have been thoroughly explored by the San Diego County Water Authority (CWA) (San Diego County Water Authority "Filtered Water Distribution Study," April, 1974). The Helix Water District and the Rio Water District jointly sponsored a report by the James M. Montgomery Consulting Engineers, Inc. (James M. Montgomery, Inc. "Joint Study of Transmission Storage and Treatment Requirements" Rio San Diego Municipal Water District and Helix Water District, March, 1972).

The major conclusions derived from this report with regards to Rio are:

A. Future annual water demands for Rio are projected to be:

1970		1980		1990		Ultimate	
Avg.	Max.	Avg.	Max.	Avg.	Max.	Avg.	Max.
Day	Day						
(MGD)	(MGD)						
7	14	12	25	23	45	50	99

B. Rio San Diego Municipal Water District must provide an additional 18 MGD of raw water supply capacity to meet its 1990 needs and an additional 22 MGD above 1990 needs to meet their ultimate demands. District demands were projected using population projections believed at that time to be accurate. Since then the Lakeside and Alpine Community Plans have been adopted and the Alpine Community Plan is in progress. Land use designations delineated on the community plans and population projections encompassed by them will greatly influence the study projections of need. The overall result will be a reduction in projected demand.

C. Rio does not have any major storage system and must provide as much as 15,500 Ac. Ft. of storage for expected ultimate requirements.

D. Northern California water is expected to arrive in San Diego County by 1977. This water will initially be mixed with Colorado River Water and delivered by the County water authority pipelines. Because of the bacteriological quality of the water, the State Department of Public Health has stated that this water must be filtered before it can be used in domestic water systems. Because of this requirement, the Metropolitan Water District has constructed a water filtration plant (Skinner) near the headworks of the San Diego aqueducts.

- E. Rio's County Water Authority Filtered Water Connection will entitle Rio to 20 MGD of filtered water from the aqueduct. However, Rio will need an additional filtered water source to meet demands above 20 MGD. Twenty MGD will serve approximately 100,000 people at 200 G.P.C.P.D. The projected population of the combined Lakeside, Santee, and Alpine Community Plans is 137,000 people, which will require approximately 27.5 MGD of filtered water.
- F. Rio must construct some additional transmission, distribution and storage facilities primarily to accommodate the transmission and storage of filtered water.

New distribution and storage facilities must be constructed by Rio before the current moratoriums can be lifted.

Rio San Diego Municipal Water District Bond Issue approved by the voters in June, 1976 will provide Rio the monies necessary to alleviate many of the existing and anticipated deficiencies of their water system.

The only problem affecting Alpine directly is the moratorium in the West Victoria and Viejas areas. This problem should be rectified in the near future and should not be considered a deterrent to the Alpine Community Plan.

LIQUID WASTE

The Alpine Sanitation District was formed in April, 1952 to provide sewer service to the Alpine Community. Areas not served by a public sewerage system require individual septic tanks and sub-surface disposal systems, the installation of which is regulated by the San Diego County Department of Public Health.

The Alpine Sanitation District presently encompasses approximately 613 acres lying within the Alpine Creek Drainage Basin. The district maintains approximately 52,000 linear feet of sewer main and appurtenances including the Alpine Sewerage Collection System, Alpine Trunk Sewer System, Alpine Interceptor, Alpine Pump Station and Force Main and the Alpine Outfall Sewer. The district has an agreement with the Lakeside Sanitation District to provide for the transportation and disposal of Alpine wastewaters, a joint powers agreement with Santee and Lakeside to construct the Metro Connection and an agreement with the City of San Diego for transportation of Alpine waste waters through San Diego's Mission Gorge trunk sewer for ultimate discharge to the Metro system for primary treatment and ocean disposal.

Table 1 shows the peak and/or average capacity of each major component of the existing Alpine sewerage system, the estimated equivalent population that can be served through each component and the corresponding number of equivalent dwelling units that can be accommodated.

The equivalent population was determined using a per capita flow of 70 GPD, a peaking factor based upon tributary population and a 2.64 persons per dwelling unit from the 1975 special census.

TABLE 1

Component	Identification	Peak Capacity	Average Capacity	Equiv.* Population	E.D.U.
1.	Trunk Sewer	0.50 MGD	0.24 MGD	3,400	1,290
2.	Alpine Interceptor	1.3 MGD	0.72 MGD	10,300	3,900
3.	Pump Station	0.6 MGD	.6 MGD	-----	-----
4.	Force Main	1.3 MGD	-----	-----	-----
5.	Alpine Outfall	1.8 MGD	1.03	14,700	5,570
6.	Lakeside Agreement	-----	0.20	2,900	1,100
7.	Lakeside/Santee Joint Powers	-----	0.34	4,900	1,860
8.	Metro Agreement	-----	0.15	2,150	814

The Trunk Sewer System consists of a network of parallel sewer lines extending easterly along both sides of Alpine Boulevard from Tavern Road to South Grade Road. The lines vary in size from 6" at South Grade Road to 8" at Tavern Road. A second 8" trunk extends Southerly on Tavern Road from Alpine Boulevard to Arnold Way. Each of the existing trunks are fixed in location and capacity. Location and capacity greatly influence the trunk sewers ability to service the proposed community plan.

The Interceptor Sewer consists of a single line extending Westerly from Tavern Road along Alpine Boulevard approximately 2,500 feet to an easement thence Southerly in the easement to Midway Drive; thence Westerly in Midway Drive and Arnold Way approximately 5,000 feet to the Alpine Pump Station.

The Alpine Pump Station is located in the vicinity of Arnold Way and South Grade Road.

The Alpine Force Main extends Westerly from the Alpine Pump Station along Arnold Way and Olde Highway 80 to the vicinity of Summit Drive where it connects to the Alpine Outfall.

The Alpine Outfall consists of a single line extending Westerly, from the Alpine Force Main, along Olde Highway 80 to a connection with the Lakeside Sanitation District's trunk sewer system in the vicinity of Flinn Springs Park.

The Alpine/Lakeside Agreement provides that Alpine Sanitation District can discharge a maximum of 200,000 GPD of wastewater into the Lakeside Sanitation District's sewerage system for treatment and disposal. Since January, 1976, the Lakeside Sanitation District has ceased operation of their water reclamation facility and all wastewater received by Lakeside is discharged to the Metro System.

Metro Capacity was obtained by the A.S.D. in conjunction with Santee and Lakeside. The District obtained a capacity of 0.15 MGD which is insufficient to serve the projected needs of the Alpine planning area. Additional capacity must be obtained from the City of San Diego or alternate methods of wastewater disposal developed.

Alpine Joint Powers Agreement with Santee and Lakeside defined the participating agencies' share of the cost and capacity of the Metro connection. Alpine's capacity share amounts to 0.34 MGD which will serve approximately 4,900 people.

The Alpine Sanitation District does not have unlimited sewerage capacity to provide for ultimate urban levels of development. Table 1 shows the various levels of sewerage service available to the sanitation district. Current service levels are based upon contractual agreements with the Lakeside Sanitation District which restrict Alpine wastewater discharges to 200,000 GPD Avg. (.20 MGD). Flows up to 240,000 GPD Avg. (.240 MGD) will require renegotiating the Lakeside agreement.

Flows in excess of 240,000 GPD Avg. may require improvements to the trunk sewer and will require renegotiations with the City of San Diego for additional Metro capacity. The recently completed Lakeside Metro connection will provide up to 340,000 GPD Avg. (.340 MGD) to Alpine for wastewater disposal. However, this level of service will also require renegotiation of the Lakeside agreement, Metro agreement, and may require new trunk sewer facilities in the Alpine area. Flows in excess of 340,000 GPD will require alternative methods of wastewater treatment and disposal (water reclamation).

Projected Needs

The projected needs of the Alpine Sanitation District with regards to sanitation facilities was made assuming the following:

1. Average per capita flow = 70 GPD
2. Existing lines flowing at 3/4 full
3. Peaking factor from table
4. Population projections based upon alternate II and a 1995 total population of 9,000 to 12,000 persons with an estimated 1/3 of the projected total population within the urban areas.
5. 1995 connected population estimated at 3,000 to 4,000 persons.

Existing Metro Capacity should be adequate through 1979. After 1979 additional Metro Capacity or alternate methods of wastewater disposal will be required. An alternative to the above would be water conservation directed toward reducing per capita discharges to the public sewerage system.

By 1986 the Lakeside Agreement will have to be amended.

By 1990 the capacity of the Trunk Sewer may be reached and parallel lines must be considered or alternate routings investigated.

New Facilities must be constructed to serve areas outside the Alpine Creek drainage basin. Urban areas outside the basin are relatively small and it may be economically unfeasible to construct a major trunk sewer to serve a small area. A small package pump station and force main may be more economically justified as a temporary facility.

The Metro connection Joint Powers Agreement has sufficient capacity to provide for the projected needs of the Alpine Community Plan beyond 1995.

The distribution of land uses on the Alpine Community Plan serve to limit potential annexation to the sewer district exclusively to those areas that can be served on existing capacities from the existing pump station.

All other components of the Alpine sewerage system are adequate for population densities well in excess of the projected populations of the community plan.

SOLID WASTE

The storage collection and disposal of solid waste is a regional County-wide problem and does not lend itself to community or subregional analysis.

For purposes of waste storage and collection investigations the "San Diego Regional Solid Waste Management Plan" found it useful to divide the County into two major geographical areas; the Coastal Zone which is basically urban and suburban, and the Interior Zone with its sparsely populated mountain and desert areas.

The Alpine Community Plan area lies within the Interior Zone.

Solid waste collection service is not mandatory in the Interior Zone of the County. Residents and commercial establishments may subscribe for collection service from licensed firms, or they may transport their own wastes to the rural waste container site or sanitary landfill which is nearest their homes or businesses.

There are six firms providing collection services to the Interior Zone at this time. These companies have been licensed by the County to contract with householders and business proprietors to collect solid wastes in specified areas of the County.

Collection service areas are established by the Solid Waste Section of the Department of Sanitation and Flood Control to ensure adequate levels of service.

While the Solid Waste Section does not regulate collection rates, all licensed contractors are required to file rate schedules and to notify County officials of any rate changes. The County requires that licensed haulers service each area at least once a week.

Projected Needs

The County is rapidly running out of sanitary landfills. It is estimated that out of our eight existing landfills, four will reach capacity and close within six years, and one will reach capacity and close in October, 1976.

Without the development of new solid waste sites, the remaining sites would have shortened useful lives. In addition, wastes will have to be hauled further and further to the remaining sites. Fewer sites could result in increased illegal dumping by those unwilling to travel the extra distances.

The present combined available volume is estimated to be 82,000 cubic yards and the volume required for the year 2000 is 114,000,000 cubic yards. If no replacement landfill sites are acquired the County will be reduced to two landfill sites by 1985 and will be reduced to no landfill sites by 1995.

FIRE PROTECTION

Fire protection within the Alpine Community Plan Area is provided by the Alpine Fire Protection District and, during the months of the stipulated fire season, the California Division of Forestry will respond to Wildland Fires.

Current Coverage

At the present time the boundary of the Alpine Fire Protection District encompasses approximately 17 square miles within the 110.7 square mile plan area. The remaining area receives wildland fire protection only from the California Division of Forestry.

The Alpine Fire Protection District operates out of one station located at 1834 Alpine Boulevard. District Personnel consists of 21 uniformed fireman and 20 volunteers. District Equipment consists of 3 pumper, 2 ambulances, 1 tanker, and 2 staff vehicles.

Adequacy of service is indicated by the district's I.S.O. rating. The I.S.O. rating is a measurement of service level based upon criteria set forth by insurance services organization (I.S.O.). I.S.O. ratings range from number 1, the best, to number 10, which is considered to be completely inadequate. The present I.S.O. rating of the Alpine Fire Protection varies from a rating of 6 in the community of Alpine to a rating of 9 in the outlying areas of the district. Areas outside the boundaries of the fire protection district do not have structural fire protection and would have an I.S.O. rating of 10.

Another measurement of service level, used by district personnel, is based upon response time to various locations within the district. It is currently reported that emergency response time for the Alpine Fire Protection District is 5 to 10 minutes, with a response time of 5 minutes to the center of Peutz Valley and 10 minutes to the end of the road. For the Willows area response time is 5 minutes to Viejas Grade Road and Willows Road and 10 minutes to the Eastern end of Willows Road. The response time within the Community of Alpine is an average of four minutes.

All uniformed firemen have advanced first aid training and CPR Emergency Medical Training. One or more firemen have completed a Paramedic Program.

Projected Needs

Based upon a projected 1995 community plan population of 9,000 to 12,000 people one new fire station will be required. Existing equipment and manpower would be redistributed to man the new station.

LIBRARY

The County of San Diego maintains a branch library in the Alpine area.

This is a leased facility containing 624 square feet of floor space located at 2156 Alpine Boulevard in the community of Alpine. The library contains 5,427 volumes with an estimated circulation of 25,963. Based upon the 1975 special census and the boundaries of the community plan, this library facility serves a population of 5,120 people which amounts to 0.12 square feet per capita. This is below the recommended County of 0.40 square feet per capita.

Projected Needs

Based upon 1995 population projections of 9,000 to 12,000 people in the Alpine Community Plan area the estimated future space needs for the community are 3,600 and 4,800 square feet.

In 1976 the Board of Supervisors approved a build-to-suit leased library in Alpine. The lease is for 3,000 square feet to be located at 2121 Alpine Boulevard adjacent to the post office. When completed, this facility should satisfy the needs of the community for many years to come.

LAW ENFORCEMENT AND TRAFFIC CONTROL

The San Diego County Sheriff's Department is responsible for providing ordinary law enforcement services to the area covered by the Alpine Community Plan.

Traffic control services are performed by the California Highway Patrol.

Current Coverage

The Alpine Community Plan area falls within the boundaries of Sheriff's Master Beat 48. This Master Beat encompasses an area of 89.16 square miles and extends from the City of El Cajon on the west to the Willows on the east and from the San Diego River on the north to the Sweetwater on the South (Figure L-1).

At the present time five patrol units cover Master Beat 48 from the Sheriff's Santee Patrol Station located at 8811 Cuyamaca Street in Santee. Normal patrol coverage consists of three 8-1/2 hour shifts, seven days per week. The current level of service is: one patrol unit for the early morning shift, with two patrol units for the two more active beats.

The response time for Sheriff's Patrol units in Master Beat 48 varies from 12.5 minutes to 18.1 minutes for a priority call and from 29.2 minutes to 34.7 minutes for nonpriority calls depending upon the watch. There are nine patrol deputies and one detective assigned to Master Beat 48. All deputies have advanced first aid training and CPR Emergency Medical Training.

The C.H.P. although generally responsible for traffic control will provide law enforcement assistance to the Sheriff as needed. Traffic control is provided by the C.H.P. operating out of the C.H.P. El Cajon Office. The Alpine area is included in the C.H.P. Beat area 1. At the present time the C.H.P. operates three shifts with three cars per shift. Plus one extra watch from 8:00 p.m. to 4:30 a.m. The C.H.P. operates one man units during daylight and two man units at night. The El Cajon office consists of 76 Patrol Officers plus six office personnel. All patrol officers have advanced First Aid Training and CPR Emergency Medical Training.

Projected Needs

Presently the Sheriff's Department has 212 Patrol Deputies serving a population of 383,000 people. This is equivalent to approximately one patrol deputy for each 1,800 people. It is also estimated that one patrol car is needed for each 3,800 people.

It is impractical to consider law enforcement needs on a community basis only. Law enforcement is a County-wide problem. However, considering law enforcement at the community level equivalent to the County-wide average the future needs of the Alpine Community are projected as follows:

Assuming a future maximum population of 12,000 people and a present population of 5,120 the future needs are 3.8 new Deputies, and 1.8 new cars.

EDUCATION

The Alpine Community Plan Area is served by three school districts. The Alpine Union Elementary School District, the Grossmont Union High School District and the Grossmont Community College District.

Alpine Union Elementary School District

The Alpine Union Elementary School District operates two schools both located within the boundaries of the Alpine Community Plan Area. The Alpine Elementary school Grades K-5 has a capacity of 540 students and an enrollment of 551(10-76). The Chaparral Middle school Grades 6-8 has a capacity of 330 students and an enrollment of 304(10-76).

The District has 28 classrooms and had a total enrollment of 856 as of October, 1976. The estimated enrollment for 1976-77 was 844 students. This is a 5.3% annual growth rate.

Grossmont Union High School District

The Grossmont Union High School District is a large district encompassing the cities of El Cajon and La Mesa as well as a large portion of the unincorporated area including Valle de Oro, Santee, Lakeside, and Alpine. The District operates nine high schools and two continuation schools with a total enrollment of 26,055 students. Students from the Alpine area are normally assigned to the Valhalla High School. Valhalla has a capacity of 2,274 to 2,559 and an enrollment of 2,096 (10-75).

Grossmont Community College District

The Grossmont Community College District presently operates one campus located on Grossmont Drive in El Cajon. Grossmont Community College is operating over its capacity with a "full time equivalent enrollment" (students taking 15 units or more) of 13,000, a combined full and part time enrollment of 16,240 and a design capacity of 9,600. Classes are held from 7:00 a.m. to 10:00 p.m. daily with 80 classes meeting at off-campus locations due to overcrowding of on-campus facilities.

Projected Future Needs

Future facility needs are dependent upon administrative policy decisions such as bussing and the use of double sessions or year-round programs and will be contingent upon future school board decisions. Therefore, assessment of the impact of the plan on educational facilities has been limited to a projection of the increase in the number of students in the plan area. Future student projections are based upon general guidelines provided by the various districts and population projections based upon the community plan.

Alpine Union Elementary School District

The Alpine Community Plan projects a 1995 population of 12,000 people. The 1975 special census estimates an existing population of 5,120 in the plan area.

Correspondence tables prepared by the San Diego County Department of Education and the 1975 special census estimated a 1975 population of 6,153 in the Alpine Union Elementary School District. The school district's October, 1975 enrollment was 807 students. The average number of people per student is therefore, $6,153 - 807 = 7.62$ people. Students originating in the Alpine Plan Area is, therefore, $5,120 - 7.62 = 672$ students. Projected future student enrollment is, therefore, $12,000 - 7.62 = 1,574$ students. The District's schools are presently operating at or near capacity with a current student population of $807 - 27 = 29.9$ students per classroom.

During the next 20 years the District may be required to provide facilities for an additional $1,547 - 672 = 902$ students from the plan area. The final dispensation of these projected new students will be dependent upon policy decisions by the school board with regards to double sessions, portable classrooms or new construction. The school district has projected a 5% annual growth rate.

ENERGY

Assure adequate supplies and provision of energy concurrent with the needs of the Alpine area.

1. Promote measures that will conserve energy by reducing the rate of increase of energy consumption while maintaining a high quality of life.
2. Encourage siting and building practices so as to minimize grading.
3. Encourage agencies that propose major energy and communication transmission and distribution facilities to review their projects with local citizens groups.
4. Encourage siting, landscaping, and building practices which provide for natural passive ventilation, cooling, and heating systems using such energy sources as the sun, wind, and other alternative energy systems.

Grossmont Union High School District

Correspondence tables prepared by the San Diego County Department of Education and the 1975 special census estimated a 1975 population density of 295,176 in the Grossmont Union High School District. The school District's 1974-75 total enrollment was 26,055 students. The average number of people per student is, therefore, $295,176 - 26,055 = 11.3$ people. Students originating in the Alpine Planning Area is $5,120 - 11.3 = 453$ students. Projected future student enrollment is $12,000 - 11.3 = 1,062$ students. The District's schools are currently operating at or near capacity with a current student population of $26,055 - 736 = 35.4$ students per classroom. During the next 20 years the district may be required to provide facilities for an additional $1,062 - 453 = 609$ students from the plan area.

The final dispensation of these projected new students is dependent upon policy decisions by the school board with regards to redistricting, bussing, double sessions, portable classrooms, or new construction.

Grossmont Community College District

The Grossmont Community College District owns approximately 200 acres of land in the Jamacha Basin and plans the development of a second campus to serve approximately 15,000 students. Development is to be phased over the next 15 years and as proposed will meet the needs of the community.

PUBLIC FACILITIES AND SERVICES RECOMMENDATIONS

Program public facilities installation to phase development.

1. Avoid duplication of services and encourage increased coordination among the governmental and nongovernmental agencies involved.
2. Encourage the development, by County authority, of alternatives to the metro sewer system, such as: individual property unit systems that utilize composting, incineration, other models, and/or local processing of wastes.
3. Encourage a program of water reclamation, including recycling of wastes and water conservation, to replenish the groundwater supply as it becomes economically feasible.
4. Encourage educational or informational measures that will prevent failure of on-site sewage systems in order to protect the public health.
5. Promote maximum utilization of the school's physical plants for non-commercial community recreational, educational, social, and service activities during off-hours.
6. Provide adequate library facilities within walking distance of the town center.
7. Encourage flexibility and use of alternatives to the County improvement standards in order to enhance the community's rural atmosphere.

APPENDIX B
RESOURCE CONSERVATION AREAS FOR ALPINE

1. El Capitan Reservoir and El Cajon Mountain - The reservoir is important for migratory waterfowl, and freshwater aquatic wildlife. Surrounding vegetation includes habitat for chaparral dwelling species as well as raptorial birds such as golden eagles. Areas adjacent to the reservoir should be kept in native vegetation to minimize siltation. El Cajon mountain valuable as visual land mark and wildlife habitat.
2. Peutz Valley - Oak and riparian woodlands are mixed through the main body of the canyon and its tributaries, these vegetation community types serve as habitats for migratory birds and acts as a wildlife corridor and food/water sources for wildlife in adjacent chaparral.
3. Oak-Riparian woodland in drainages between Alpine Boulevard and South Grade - These woodlands provide seasonal habitat for birds and movement corridors for native mammals, with the area west of Tavern Road significant also for the presence of Fritillary biflora (Chocolate lily) a rare plant, and an oak woodland area.
4. Harbison Canyon - Area with high potential of significant archaeological sites.
5. Viejas Mountain - Viejas Mountain is a significant aesthetic landmark and is valuable for its excellent example of undisturbed broad leaf and narrow leaf chaparral. Several rare plants probably occur on Viejas Mountain, Haplopappus parishii and the San Diego County endemics, Monardella hypoleuca ssp. lanata and Grindelia hallii.
6. Poser Mountain - Viejas Grade Region - Several species of rare or endangered plants including Acanthomintha ilicifolia, Monardella hypoleuca ssp. lanata, Grindelia hallii and Haplopappus parishii, have been found along portions of Viejas Grade. In addition, Poser Mountain contains excellent examples of undisturbed Chaparral and the unique Fremontodendron californica.
7. Eastern Portions of Viejas Creek - Normally Viejas Creek contains a perennial stream with freshwater aquatic ecosystems. Oak and Riparian woodlands are also present in the stream bed.
8. Sweetwater River Canyon and adjacent archaeological resource area - This canyon contains undisturbed chaparral, Virgin Riparian and oak woodlands as well as a pristine perennial stream and aquatic ecosystems. Any type of development to disturb the vegetation in this canyon would also alter the dramatic view which can be partially sensed at the Highway 8 roadside viewpoint.

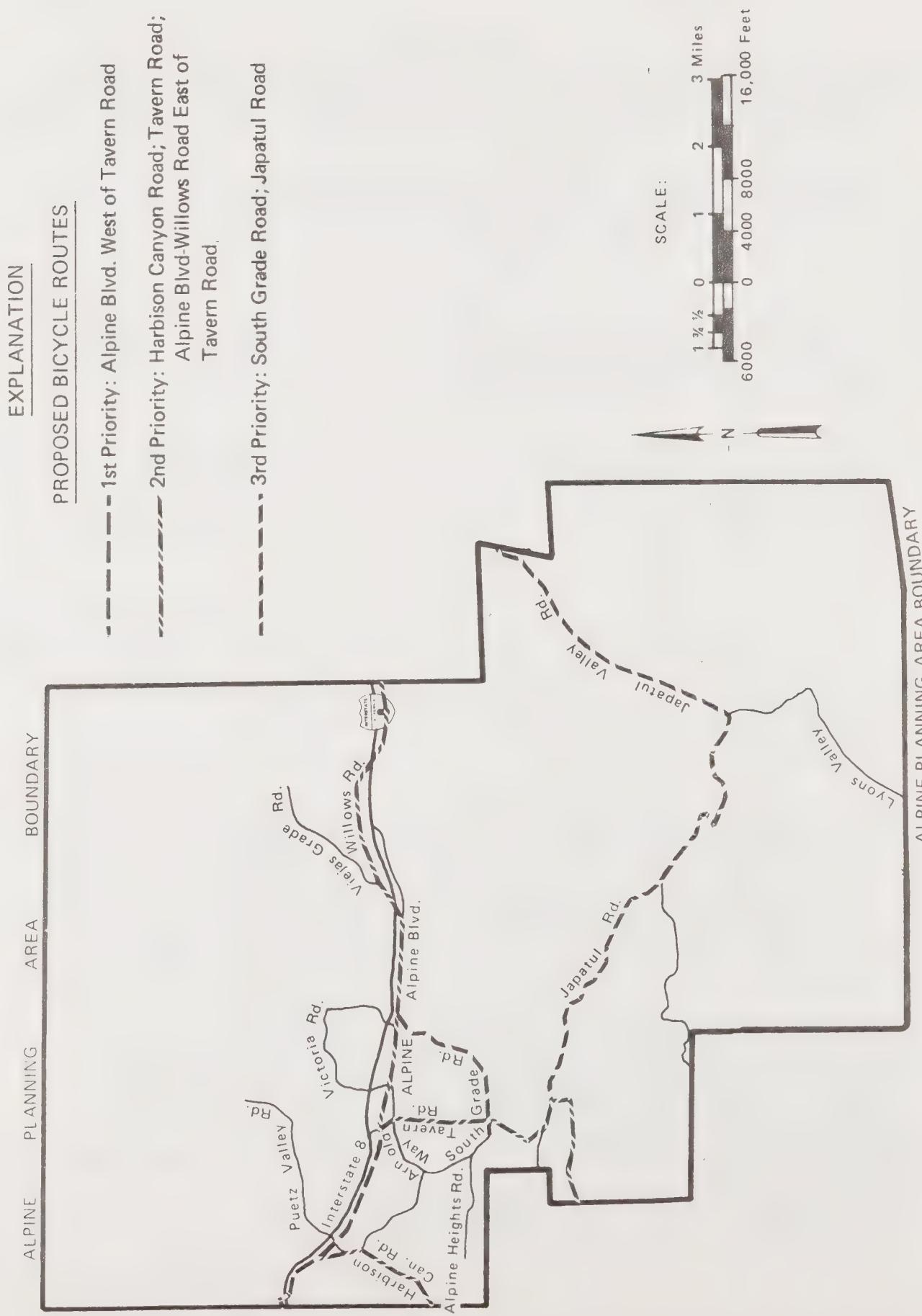
9. Loveland Reservoir and surrounding archaeological and visual resources - Loveland Reservoir serves as a stopping place for migratory waterfowl and its surrounding environs are significant habitat for protected golden eagles and other raptorial birds, as well as large mammals.
10. Japatul Road, Loveland Reservoir drainage area - Large areas of Riparian and oak woodlands and some freshwater marsh can be found in this area. All of these are significant habitat for migratory birds. This area is also significant for its high archaeological potential.
11. Horsethief Creek, Pine Valley Creek region - Both of these drainages contain oak woodlands; the Pine Valley Creek area includes Riparian woodland and perennial fresh water aquatic ecosystems. Portions of this isolated area are suitable habitat for several species of rare plants, also valued for its high visual resource and archaeological potential.
12. Gaskill Peak Region - The rare or endangered plants Monardella hypoleuca ssp. Tanata, Ribes canthariforme, Horkelia truncata, Salvia Clevelandii and Senecio ganderi all occur on or nearby the area. Habitats on Gaskill Peak are well suited for large mammals and raptorial birds as well as these plants, also valued as visual resource.
13. Lawson Valley archaeological resource potential area.
14. Intersection of Tavern, Japatul, and Dehesa Roads, is the location of deposit of the rare mineral dumortierite, and nearby potential archaeological sites.
15. Japatul Valley - area of known archaeological sites as well as high potential for sites yet undiscovered.
16. Bell Mountain - visual landmark, with high potential of archaeological sites.
17. Viejas Indian Reservation and surrounding areas have many known archaeological sites and highest potential for sites yet undiscovered. Surface artifacts and evidence of previous early Indian occupation have been disturbed.
18. Principle drainage and adjacent slopes in Capitan Grande Indian Reservation, included for high archaeological potential and high wildlife value.

English names for plants mentioned in the Resource Conservation Areas:

Acanthomintha ilicifolia (Gray) Gray San Diego thornmint
Fremontodendron californicum Coville California fremontia
Fritillary biflora Lindl. Chocolate lily
Grindelia hallii Steyermark. Hall's gum plant
Haplopappus parishii (green) Blake. Parish goldenbush
Horkelia truncata Rydb. Ramona horkelia
Monardella hypoleuca Gray ssp. Tanata (Abrams) Munx Felt leaf monardella
Ribes canthariforme Wiggins. Moreno currant
Salvia clevelandii (Gray) Greene Cleveland sage
Senecio ganderi Barkley and Beauchamp Ganders butterweed

APPENDIX C

FIGURE : ALPINE PLANNING AREA PROPOSED BICYCLE ROUTES, 1995



APPENDIX D
REGIONAL POLICY 1: REGIONAL CATEGORIES

The following seven Regional Categories shall guide development within the unincorporated area of the County. These categories are delineated on the Regional Land Use Map.

The Current and Future Urban Development Area categories taken together constitute the Urban Development Area. The outer boundary of the Urban Development Area constitutes an Urban Limit Line on the Regional Land Use Map and the Community and Subregional Plan maps. Urban development will not occur outside the Urban Limit Line during the life of this plan.

1.1 CURRENT URBAN DEVELOPMENT AREA (CUDA)

The Current Urban Development Area includes those County lands to which near-term urban development should be directed.

- Commercial, industrial, and residential uses and densities will be those permitted by the applicable Land Use Designations on the Community or Subregional Plan maps.
- In areas planned for residential densities at or above 4.3 dwelling units per gross acre, development should approach the maximum densities permitted by the applicable Land Use Designations depicted on the Community or Subregional Plan maps.
- On residential lands achievement of overall densities of at least four (4) dwelling units per gross acre will be encouraged. (This figure is an average, and need not be met on all developable land. In some areas it may be appropriate to consider the densities of adjacent cities within the same housing market area. It is not the intent of this plan to force higher densities into the low-density fringes of Urban Development Areas.)
- Density bonuses will be available for those developments using the Inclusionary Housing Policy.

1.2 FUTURE URBAN DEVELOPMENT AREA (FUDA)

Future Urban Development Areas are those that will ultimately be developed at urban densities, but which in the near term, should be held in reserve. Future Urban Development Areas will be permitted to develop at low densities (ten acre parcel size or larger) until infilling has occurred in adjacent areas and services can be provided at levels necessary for urban densities. Certain areas adjacent to or encompassed by cities have also been placed in this category in order to encourage annexations.

- A parcel size of ten (10) acres will be required when considering divisions of land. A smaller parcel size will be permitted only when an area is annexed to an adjacent city or development is conditioned upon annexation.
- The boundaries between Current Urban and Future Urban Development Areas will be evaluated approximately every three years. Any such boundary adjustment shall be consistent with the Regional Air Quality Strategy (RAQS).
- The outer boundaries of all Current and Future Urban Development Areas will be designated as Urban Limit Lines beyond which urban development will not be permitted through 1995.

1.3 ESTATE DEVELOPMENT AREA (EDA)

The Estate Development Area combines agricultural and low density residential uses (parcel sizes of two (2) to twenty (20) acres will apply). Included in the category are those areas outside the Urban Limit Line but within the boundaries of the County Water Authority.

- Where authorized, parcel sizes of two (2) to twenty (20) acres or larger will be permitted depending on the slope criteria in the underlying Community or Subregional Plan Land Use Designations.
- Clustering or lot averaging will be permitted, providing:
 - the project will not require urban levels of service, and
 - at least 40% of the project area is in permanent open space.
- Where groundwater is the sole source of water supply, the guidelines for land development as stated in the County Groundwater Policy will apply.

1.4 RURAL DEVELOPMENT AREA (RDA)

The Rural Development Area includes all privately owned properties outside the service boundaries of the County Water Authority. This area is primarily made up of agricultural or unimproved lands and remote pockets of residential development. Parcel sizes will generally be dictated by the availability of groundwater and other environmental and resource constraints.

- Where authorized, parcel sizes of four (4) to forty (40) acres or larger will be permitted depending upon the Land Use Designations on the applicable Community or Subregional Plan map, and the guidelines for land development as stated in the County Groundwater Policy.

1.5 COUNTRY TOWNS (CT)

This category applies to existing, small historically established retail/residential areas serving surrounding low density rural areas or functioning as resorts. They are designated for generally one acre lots or more intensive uses and are clearly removed geographically from existing or projected urban areas.

The Element provides for containment but at the same time allows for low density urban development within the town itself. Outside of the towns, the surrounding Estate or Rural Area development standards will apply. This simple approach establishes a minimum of planning restriction while maximizing the integrity of the rural atmosphere associated with the Country Towns.

- Uses and densities will be those permitted by the applicable Community or Subregional Plan map, The County Zoning Ordinance, and, where applicable, the Groundwater Policy.
- Expansion of Country Town boundaries will be discouraged but will be permitted to meet emergency health and safety needs of contiguous subdivided land.

1.6 ENVIRONMENTALLY CONSTRAINED AREAS (ECA)

Environmentally Constrained Areas include floodplains, lagoons, areas with construction quality sand deposits, rock quarries, agricultural preserves, and areas containing rare and endangered plant and animal species. Development in these areas, while guided by the County General Plan, should be preceded by thorough environmental review and implementation of appropriate measures to mitigate adverse impacts.

- Uses and densities will be those permitted by the applicable Community and Subregional Plan map, The County Zoning Ordinance, and, where applicable, the Groundwater Policy.
- The resource responsible for the designation of an ECA shall be identified and appropriate mitigation measures included in any project approval.
- Flood prone areas which are not planned for stabilization will be retained in natural, open, and other non-urban uses.
- Areas designated Agricultural Preserve shall be designated "Environmentally Constrained Areas."

1.7 SPECIAL STUDY AREAS (SSA)

- This category will be applied on an interim basis and for a specified period of time to areas in which development should be suspended or restricted pending completion of detailed review or study.
- In the Desert Special Study Area (Borrego Springs), no application for changes in the General Plan which would result in an overall increase in the potential number of dwelling units shall be approved until a cumulative environmental analysis and long range plan are prepared for the area.
- In the Otay Mesa Area, division of land or rezones shall be discouraged pending completion of studies on implementation of the Economic Development District.

APPENDIX E

REGIONAL POLICY 3: COMMUNITY AND SUBREGIONAL PLANS

Regional Categories delineated on the Regional Land Use Map shall be implemented through Land Use Designations delineated on Community and Subregional Plan maps. Within these Community and Subregional Plan areas, the following additional policies shall apply:

3.1 URBAN DESIGNATIONS

Except as otherwise specified in Policies 3.2 or 3.4, urban designations shall be applied to contiguous planned commercial and residential areas associated with a community or city center. Land Use Designations permitting densities of one (1) dwelling unit per gross acre or a higher density shall not be applied outside of Urban Development Areas, Country Towns, or existing locations.

3.2 COMMUNITY PLAN DESIGNATIONS

Community and Subregional Plan designations, goals, objectives, and policies shall be consistent with the Regional Categories, goals, and policies of the Regional Land Use Element. Until public hearings are held to achieve consistency between the Regional Land Use Element as adopted by the Board of Supervisors on January 3, 1979 and the existing Community or Subregional Plans, the Land Use Designations of the Community or Subregional Plans shall take precedence over the Regional Categories. In the event a finding of consistency must be made between the old land use categories and the new designations, the attached Interim Conversion Table shall be utilized.

3.3 COUNTRY TOWN BOUNDARIES

Country Town boundaries as delineated on the Regional Land Use Map are based on the existing land use pattern and Use Designations shown on each Community Plan or Subregional Plan map. Precise boundaries may be adjusted to better reflect community characteristics as long as such adjustments do not represent an expansion into areas deemed inappropriate by the goals and policies of the Regional Land Use Element.

3.4 EXISTING PRIVATE DEVELOPMENT PLANS AND SPECIFIC PLANS

Existing private development plans, specific plans, and applications to expand the boundaries of existing private development plans and specific plans may conflict with the categories of the Regional Land Use Element. In these cases, for the purpose of consistency with the Regional Land Use Element, a private development plan or specific plan or expansion thereof will be deemed consistent with the General Plan if one of the following findings is made:

1. The project will not adversely affect or promote premature growth to adjacent properties, and
 - the project has sufficient facility capacity to accommodate both the present and future population if built out to capacity, and
 - a substantial private investment in public facilities has been made on the basis of past approvals of development phases, and
 - the proposed development does not exceed the maximum density as granted on the original private development plan/specific plan or the proposed development does not exceed the maximum density as shown on the Community/Subregional Plan maps which resulted from previous approvals of Private Development/Specific Plans; or
2. The density and character of development is substantially in conformance with the Regional Land Use Element goals.

3.5 EXISTING (80% -- 100%) SUBDIVIDED OR (80% -- 100%) DEVELOPED USES

Existing subdivided or developed uses which are not deemed appropriate for expansion pursuant to the goals of the Land Use Element may exist in certain locations of the County at the time of adoption of this Element. Subdivided/developed uses is defined as a project or an area which is at least 80% subdivided or developed to its capability when considering the density/type of development permitted when originally planned. In these cases, for the sole purpose of implementation, existing subdivided lands and developed uses (e.g., mobilehome parks) may be classified to a Use Regulation consistent with those uses. Expansion of these or similar uses into undeveloped adjacent areas must be consistent with the applicable Regional Categories and Land Use Designations.

3.6 LOW AND MODERATE INCOME ELDERLY HOUSING

It is the intent of the Regional Land Use Element to encourage the development of housing for all economic groups in the community (Goal #6). To implement this, developments not to exceed 60 du/gross acre may be permitted in Current Urban Development Areas if all of the following findings are made:

1. 100% of the units shall be made available to low and moderate income elderly households (as defined by the U.S. Department of Housing and Urban Development).
2. A major use permit, pursuant to the County Zoning Ordinance, shall be approved by the Planning Commission and/or Board of Supervisors.



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3. Sufficient services and facilities shall be available to support the project including public mass transportation.
4. The project shall be free from non-mitigatable, adverse environmental impacts or the Planning Commission and/or Board of Supervisors shall make a statement of overriding consideration as required by Section 15089 of the State EIR Guidelines.

3.7 EXISTING MOBILEHOME PARK MAJOR USE PERMITS/VARIANCES

Mobilehome parks which have been authorized by Major (Special) Use Permits or variances which have been vested may exist in certain locations throughout the County in conflict with the Regional Categories of the Land Use Element. In these cases, for the purpose of determining consistency with the Regional Land Use Element and the applicable Community or Subregional Plan, an approved and vested major use permit or variance for a mobilehome park may be subdivided into individual mobilehome park lots if all of the following findings are made:

1. The project will not adversely affect or promote premature growth to adjacent properties.
2. Sufficient facility capacity can be provided prior to need to accommodate both the present and future population if built out to capacity.
3. The proposed subdivision will be in substantial conformance with the design approved by Major Use Permit or variance.
4. The proposed subdivision does not exceed the maximum density as granted by the Major Use Permit or variance.
5. All applicable Zoning Ordinance and Subdivision Ordinance standards and regulations have been complied with and any measures proposed to mitigate environmental impacts have been accomplished by the applicant.

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